

**SIX MONTHLY COMPLIANCE REPORT OF
STIPULATED CONDITIONS OF
ENVIRONMENTAL CLEARANCE
(January 2022- June 2022)**

Of

Proposed Residential Development

At

CTS No 1271- B/1 of Village Ghatkoper, Kiroli, Ghatkoper (West), Mumbai

Proposed By

M/s. Girnar Developers
Gordhan Building No. II, 2nd Floor, 12/14, Dr. Parekh
Street, Prathana Samaj, Mumbai - 400004

Prepared By



Enviro Policy Research India Pvt. Ltd (EPRiPL)

QCI-NABET Accredited Consultant

An ISO 9001:2015 Certified Company

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Submitted to

**Maharashtra Pollution Control Board (Mumbai),
Environment Department, Mantralaya and
Ministry of Environment and Forests and Climate Change
(Regional Office)**

Project Details:

Sr. No.	Project details	
1.	Name of the project	Proposed Residential Development at CTS No 1271- B/1 of Village Ghatkoper, Kirool, Ghatkoper (West), Mumbai
2.	Name of the project proponent	M/s. Girnar Developers
3.	Clearance Identification No. and Date	SEAC 2010/CR 375/TC 2 dated 18th January, 2012
4.	Area Statement:	
5.	Total Plot Area	10360.2 sq. m
6.	FSI area	19128.93 sq. m
7.	Non FSI area	28268.97 sq. m
8.	Total Construction area	47397 sq. m
9.	Total no. of flats	Rehabilitation for Existing occupants: Flats: 88 Shops: 27 Sale: Flats: 176
10.	Water Requirement of the project	Waste Water Generation: 159 KLD Total Water Requirement: 197 KLD
11.	STP details	STP Capacity: 180 KLD
12.	Solid waste details	Wet Waste: 422 kg/day Dry Waste: 192 kg/day Total Waste Generated: 614 Kg/Day

Monitoring the Implementation of Environmental Safeguards

Ministry of Environment & Forests

Regional Office (West Central Zone), Nagpur

Monitoring Report

PART – I DATA SHEET

Date: 29.7.2022

1.	Project type: River - valley/ Mining / Industry / Thermal / Nuclear / Other (specify)	:	Residential project category 8 (a) – B2
2.	Name of the project	:	Proposed Residential Development at CTS No 1271- B/1 of Village Ghatkoper, Kirol, Ghatkoper (West), Mumbai
3.	Clearance Identification No. and Date	:	SEAC 2010/CR 375/TC 2 dated 18th January, 2012
4.	Location	:	Village- Ghatkoper
	a. District (S)	:	Mumbai
	b. State (S)	:	Maharashtra
	c. Latitude/ Longitude	:	Latitude- 19° 5'23.21"N Longitude - 72°54'13.89"E
5.	Address for correspondence	:	M/s. Girnar Developers Gordhan Building No. II, 2nd Floor, 12/14, Dr. Parekh Street, Prathana Samaj, Mumbai - 400004
	a. Address of Concerned Project Chief Engineer (with pin code & Telephone / telex / fax numbers)	:	NAME: MR. SURESH APPA PATIL. Add: Atlus – 2A, Cosmos Springs Back to Mahindra Showroom, Ovla, Ghodbandar Road, Thane – (W) -400 615 Mob: 9324810004
	b. Address of Executive Project: Engineer/Manager (with pincode/ Fax numbers)	:	NAME: MR. SURESH APPA PATIL. Add: Atlus – 2A, Cosmos Springs Back to

				Mahindra Showroom, Ovla, Ghodbandar Road, Thane – (W) -400 615 Mob: 9324810004
6.	Salient features		:	
	a.	of the project	:	Annexure A
	b.	of the environmental management plans	:	Annexure B
7.	Break up of the project area		:	
	a.	submergence area forest & non-forest	:	Non-Forest
	b.	Others	:	Annexure – A
8.	Break up of the project affected Population with enumeration of Those losing houses/dwelling units Only agricultural land only, both Dwelling units & agricultural Land & landless labourers/artisan		:	Not Applicable
	a.	SC, ST/Adivasis	:	Not Applicable
	b.	Others (Please indicate whether these Figures are based on any scientific And systematic survey carried out Or only provisional figures, it a Survey is carried out give details And years of survey)	:	Not Applicable
9.	Financial details		:	
	a.	Project cost as originally planned and subsequent revised estimates and the year of price reference	:	Cost of the project: Rs. 90 Crores

	b.	Allocation made for environmental management plans with item wise and year wise Break-up.	:	Yes. Attached as Annexure C
	c.	Benefit cost ratio/Internal rate of Return and the year of assessment	:	-
	d.	Whether (c) includes the Cost of environmental management as shown in the above.	:	Yes. Refer Annexure - C
	e.	Actual expenditure incurred on the environmental management plans so far	:	Rs. 5 Lakhs
10.	Forest land requirement		:	
	a.	The status of approval for diversion of forest land for non-forestry use	:	Not Applicable
	b.	The status of clearing felling	:	Not Applicable
	c.	The status of compensatory afforestation, if any	:	Not Applicable
	d.	Comments on the viability & sustainability of compensatory afforestation program in the light of actual field experience so far	:	Not Applicable
11.	The status of clear felling in Non-forest areas (such as submergence area of reservoir, approach roads), if any with quantitative information		:	Not Applicable
12.	Status of construction		:	Architect letter has been attached

	a.	Date of commencement (Actual and/or planned)	:	06-05-2013
	b.	Date of completion (Actual and/ of planned)	:	31-07-2022
13.		Reasons for the delay if the Project is yet to start	:	Project work started
14		Dates of site visits	:	
	a.	The dates on which the project was monitored by the Regional Office on previous Occasions, if any	:	Not yet visited
	b.	Date of site visit for this monitoring report	:	18.05.2022
15.		Details of correspondence with Project authorities for obtaining Action plans/information on Status of compliance to safeguards Other than the routine letters for Logistic support for site visits	:	Not Applicable
		(The first monitoring report may contain the details of all the Letters issued so far, but the Later reports may cover only the Letters issued subsequently.)	:	-

Current Status of Work

Current status of Construction work		Architect letter is attached herewith
a.	Date of Commencement (Actual and/ or planned)	06-05-2013
b.	Date of completion (Actual and/ or planned)	31-07-2022

1 ARCHITECTURAL CONSULTANT

604, Civic Centre, Opp. Sunshine Plaza,
M.M.G.S. Marg, Dadar (East),
Mumbai – 400 014.
Tel – 24110137, Telefax : 24110209
Email: info@1architecturalconsultants.com
Website: www.1architecturalconsultants.com

Date: 14/07/2022
To,
The Member Secretary (SEAC-2)
State Environment Appraisal Committee -2, Maharashtra
15th Floor, Environment Department,
New Administrative Building,
Mumbai – 400032, Maharashtra.


Subject: Architect Certificate for Proposed Residential Building on property bearing
CTS. No.1271B/1, at Village Kirol, Ghatkopar (West) Mumbai.

Particulars	As per EC obtained on 18.01.2012 (File no. SEAC/2010/CR375/TC-2)	Construction done till now
Plot Area	10360.2 sq.m	10,360.2 sq.m
Built Up area	FSI: 19,128.93 sq.m Non FSI: 28,268.97 sq.m Total Construction Area: 47,397.0 sq.m	FSI: 13,648.69 sq.m. Non FSI: 10,894.18 sq.m. Total Construction Area: 27,546.51 sq.m.
Building configuration	1 building: 6 wings (2 basement + Part Ground + Part Stilt + 12 upper floors)	Construction of WING A, B and D completed with 2 level basement + Part Ground (Part Stilt) + 12 upper floors. WING C only 2 level basement construction completed. Wing E and F: No construction started

The Total Construction completed as on date is 27,546.51Sq.m

Thanking you,
Yours faithful
1 ARCHITECTURAL CONSULTANT

MILIND
ARVIND
SAMEL



Digitally signed by MILIND ARVIND SAMEL
DN: cn=MILIND ARVIND SAMEL, o=PERSONAL, title=MILIND ARVIND SAMEL, email=arvind@1architecturalconsultants.com, postalCode=400014, st=Maharashtra, serialNumber=Ce383130409460644a175242712911794844001791241147044#00849546c, c=MILIND ARVIND SAMEL
Date: 2022.07.14 18:29:46 +05'30'

MILIND SAMEL
Reg.No. S/526/LS.

Point wise compliance status to various stipulations laid down by the Government of

Maharashtra as per the Environmental Clearance issued vide letter no.

SEAC 2010/CR 375/TC 2 dated 18th January, 2012 as follows:

Sr. No.	Conditions	Status
I.	This environmental clearance is issued subject to land use verification. Local Authority / planning authority should ensure this. This environmental clearance issued with respect to the environmental consideration and it does not mean that State Level Impact Assessment Authority (SEIAA) approved the proposed land use.	All necessary permissions / clearance have been obtained from the competent authorities; Obtained Environmental clearance from SEIAA, Maharashtra vide letter No.: SEAC 2010/CR 375/TC 2 dated 18th January, 2012 and is attached as Annexure – 02 . Received IOD from MCGM is attached as Annexure – 03 .
II.	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional. Including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.	180 m ³ /day capacity STP with SAFF technology will be installed for treatment of waste water and 422 kg/day of biodegradable waste will be composted with OWC. Non-biodegradable waste will have disposed off to authorized agency. Green belt of 3245.40 sq. m will have developed prior occupation of the building. The requirement of water for gardening in the dry season will be fulfilled by treated waste water from the STP 76 m ³ /day for flushing and remaining excess treated waste water discharged into the municipal sewer. MCGM issued part occupation certificate for residential building -Wing A letter no. CHE/ES/0694 /N/337, Dated: 22/11/2018. MCGM issued part occupation certificate for residential building -Wing D letter no.

		CHE/ES/0694N/337(NEW)/OCC/5/NEW Dated: 08/05/2019. Attached as Annexure 04
III.	Local body should ensure that no occupation certificate will be issued prior to operation of STP/MSW site with due permission of MPCB, Physical possession should be given only after completion of environmental & other infrastructure for which development charges are being collected by local body.	Yes, developer have agreed to follow the mentioned condition. Refer Annexure 04
IV.	The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. ULB should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.	Building plan is approved by Municipal Corporation of Greater Mumbai (MCGM). Please refer Annexure- 3 for Approved plan. Airports Authority of India issued Height Clearance vide letter no. SNCR/WEST/B/021216/120971, dated: 02/03/2016. Please refer Annexure - 5 for Civil Aviation NOC. Obtained Environmental clearance from SEIAA, Govt. of Maharashtra vide letter no. SEAC-2010/CR.375/TC-2, Dated: 18/01/2012. As per DP Remarks project site falls under Residential Zone (R). Refer Annexure 6
V.	“Consent for Establishment “shall be obtained from Maharashtra Pollution Control Board under the Air and Water Act and a copy of the same shall be submitted to the Environment Department before start of any construction work at the site.	Maharashtra Pollution Control board has issue “Consent to establish” vide letter no. Format 1.0/BO/RO-HQ/EIC-Mu-5565-14/CE/CC-1955, Dated: 03/03/2014. Please refer Annexure – 7 for Consent to Establish.

VI.	All required Sanitary & Hygienic Measures should be in Place before starting Construction activities and to be maintained throughout the Construction phase.	<p>All required Sanitary & Hygienic Measures should be in Place before starting Construction activities and to be maintained throughout the Construction phase.</p> <p>18 nos of Residential workers are staying at 32 nos of hutments and 30 nos of non-residential workers are working on site. Proper housekeeping & regular pest control have been carried out throughout construction. First Aid and medical facilities have been provided at site. Site sanitation like safe & adequate Municipal water for drinking purpose and tanker water for domestic purpose 10 nos of toilets with septic tank, common bathrooms with 2 tabs have been provided and periodical medical checkup facilities have been provided.</p> <p>Refer Annexure 8 Photographs showing sanitary and hygienic measures</p>
VII.	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in para 2. Prior certification from appropriate authority shall be obtained	Yes, developer have agreed to follow the mentioned condition.
VIII.	Provision shall be made for the housing of construction labor within the site with all necessary infrastructure and facilities such as fuel for cooking, mobile toilets, mobile STP, safe drinking water, medical health care, crèche and First Aid Room,	Yes, PP assured to take care of all required sanitary and hygienic measures before starting construction activities and will be maintained throughout the construction phase.

	etc	
IX.	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.	Yes, adequate drinking water and sanitary facilities will be provided for construction workers at the site. Mobile toilets also provided to construction workers. Waste water and solid waste generated from the construction site will be disposed properly. Photographs of the same are attached as Annexure 8
X.	The solid waste generated should be properly collected & segregated. Dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.	Solid waste generation in operational phase details: Dry waste: 192 Kg/day Wet waste: 422 Kg/day STP sludge (dry sludge): 24 Kg/day Mode of disposal of waste Dry Waste: Non-recyclable: handed over to M.C.G.M. Recyclable: handed over to recycler Wet Waste: Organic Waste Converter STP sludge (dry sludge): as manure Refer Annexure 9 for SWM Details
XI.	Wet Garbage should be treated by Organic Waste Converter and treated waste (manure) should be Utilized in the existing premises for gardening and, no wet garbage will be disposed outside the premises. Local authority should ensure this.	422 kg/day of biodegradable waste will be composted with OWC and treated manure utilized for the gardening in project premises. Refer Annexure 9

XII.	Arrangement shall be made that waste water and Storm water does not get mixed.	PP will provide 180 m ³ /day STP for the purpose of waste water treatment. The treated water will be reused for gardening purpose and excess treated water will be disposed through municipal sewer. Natural water drainage pattern: The storm water collected through the storm water drains of adequate capacity will be discharged in to municipal SWD.
XIII.	All the top soil excavated during construction activities should be stored for use in horticulture/ landscape development within the project site.	Excavated soil is used for backfilling and leveling of the plot and remaining shall be used within site for landscaping. Refer Permission for handling and transportation of waste generated under Debris Management NOC attached as Annexure 10
XIV.	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.	Yes, additional soil will used for the leveling of the project site, which shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XV.	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.	The green belt will be developed as per CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept. Total RG area: 3245.40 m2 Refer Annexure – 11 for details of Green Belt Development plan. Refer Annexure 12 - Tree NOC

XVI.	Disposal of muck during construction phase should not create any adverse effects on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.	The closed containers will be used to transport the waste from the project premises to disposal site. Tyre washing facilities will be provided for the trucks.
XVII.	Soil & ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.	The construction process does not involve any activity which may lead to leaching of heavy metals and toxic contaminants as the project is construction of residential building. Hence, there is no threat of contamination to sub-soil and ground water. Soil and ground water were tested and the Monitoring Reports are enclosed as Annexure - 13
XVIII.	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.	The construction material and other hazardous materials will be collected and stored separately, further it will be disposed off.
XIX.	Any hazardous waste generated during construction phase should be disposed off as per applicable rules & norms with necessary approvals of the Maharashtra Pollution Control Board.	There will be no any hazardous material will be generated during construction phase. If any cases observed it will be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.

<p>XX.</p>	<p>The diesel generator sets to be used during Construction phase should be low Sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.</p>	<p>No use of DG set during construction.</p>
<p>XXI.</p>	<p>The diesel required for operating DG sets shall be Stored in underground tanks and if required, clearance from concerned authority shall be taken.</p>	<p>The quantity of diesel required for operating DG set will be very less. The diesel will be purchased when the requirement of backup power for construction work. So, there will be no need to underground storage of diesel.</p>
<p>XXII.</p>	<p>Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.</p>	<p>The hired vehicles for bringing construction waste material will be checked for pollution check certificate on the entry exit gate of project area and conformed to applicable air and noise emission standards. The material transport activities will be carried out during non-peak hours. Annexure 14: PUC certificates of vehicles</p>
<p>XXIII.</p>	<p>Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to</p>	<p>During construction adequate measures are taken to maintain air quality and noise levels within the prescribed limits. Water sprinkling would be carried out as Dust suppression to arrest fugitive dust arising mainly due to transportation of construction material.</p> <p>The vehicles hired by the Contractor for construction purposes are checked for valid</p>

	conform to the stipulated standards by CPCB/MPCB.	PUC certificates. Air and Noise level monitoring is being carried out during the construction phase to ensure that the ambient air quality and noise levels are within the prescribed limits. The plot is barricaded to avoid spread of pollutants. The construction is carried out during day time only. The ambient air quality and noise levels during the construction phase are given as Annexure 13
XXIV.	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100 Km of Thermal Power Stations.)	PP will follow the mentioned condition
XXV.	Ready mixed concrete must be used in buildings construction.	Agreed.
XXVI.	The approval of competent authority shall be obtained for structural safety of the buildings due to any possible earthquake, adequacy of fire fighting equipment etc. as per the National Building Code including measures from lighting.	Structural stability: Mr. Achyut Watve, (Consulting Structural Engineer certified the structural stability of the residential redevelopment building vide letter no. TCN/141-1175/2018-2019/2654, dated: 08/03/2019. Please refer Annexure – 16 for Structural stability certificate . Fire NOC: Chief Fire Officer, Mumbai Fire Brigade, MCGM issued Fire NOC for Residential Building comprise of three wings A,B & C, dated: 29/10/2018. Please refer Annexure – 15

		for Fire NOC
XXVII.	Storm water control and its re-use as per CGWB and BIS standards for various applications.	The storm water collected through storm water drains of adequate capacity will be discharged into municipal SWD. Rooftop rainwater will be collected in 136 m3 RWH tank and used for gardening purpose. MCGM issued Storm water drain remark letter no. DychE/5263/SWD/ES, 06/11/2012. Annexure 17: SWD Remarks and RWH details.
XXVII I.	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and best practices referred.	PP will agree to use pre-mixed concrete, curing agents and other best practices referred during construction phase.
XXIX.	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority	Agreed. Refer Annexure – 13 for Monitoring Report.

<p>XXX.</p>	<p>The installation of the sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the Ministry before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Discharge of unused treated effluent shall conform to the norms and standards of the Maharashtra Pollution Control Board. Necessary measures should be made to mitigate the odour problem from STP</p>	<p>The installation of the Sewage Treatment Plant (STP) will be certified by an independent expert and a report in this regard will submitted to the MPCB and Environment department before the project is commissioned for operation. The proposed project site will be generating 159 KLD sewage, provided with STP with capacity of 180 KLD of SAFF technology. Discharge of unused treated effluent, if any will be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment will be provided to 100% grey water by STP. Necessary control measures will be made to mitigate if any odour problem will be there.</p> <p>Annexure 18: Details of STP</p>
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<p>31</p>	<p>Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc., with due permission of MPCB.</p>	<p>Yes, developer have agreed to follow the mentioned condition. Refer Annexure 04</p>
<p>32</p>	<p>Permission to draw ground water shall be obtained from competent authority prior to Construction/operation of project</p>	<p>The Ground Water will not be used for construction purposes.</p>
<p>33</p>	<p>Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.</p>	<p>Yes, we will separate the gray water and black water collecting lines during the plumbing by dual plumbing.</p>
<p>34</p>	<p>Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.</p>	<p>The fixtures for showers, toilet flushing and drinking will be of low flow either by use of aerators or pressure reducing devices or sensor based control.</p>
<p>35</p>	<p>Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.</p>	<p>PP has agreed to this condition. Energy Saving Calculation is attached as Annexure 19</p>

<p>36</p>	<p>Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.</p>	<p>Agreed.</p>
<p>37</p>	<p>Energy conservation measures like installation of CFLs/TFLs for the lightning the areas outside the building should be integral part of the project design and should be in place before commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.</p>	<p>Energy conservation measures will be installed for the lighting areas CFLs /TFLs outside the building before project commissioning.</p> <p>Use CFLs and TFLs will be collected and sent to authorized agency for proper disposal. Solar system will be proposed for solar street lights, common solar water heaters system. The details of Energy saving calculations are mentioned in attached report as Annexure 19</p>
<p>38</p>	<p>Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under Environment (Protection) Act 1986. The height of stack of DG sets should be</p>	<p>During operational phase DG set would be kept in a DG rooms Which would be acoustically covered and stack height will be provided as per norms and will be used as power back up.</p>

	equal to the height needed for the combined capacity of all proposed DG sets. Use low Sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.	
39	Noise should be controlled to ensure that it does not exceed the prescribed standards. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.	If there will be any unwanted noise exceeds the prescribed standard there will be proper measures were taken. The noise will have controlled by regular monitoring and periodically servicing of the DG set. Acoustics enclosed type DG sets will be used. Green belt will be developed at project boundary.
40	Traffic congestion near the entry and exit points from the roads adjoining the proposed site must be avoided. Parking should be fully internalized and no public space should be utilized.	There will be 02 Entry/exits with proposed project with adjoining roads namely Telephone Exchange Road Refer Annexure 20 for Parking Plans and Parking Statement
41	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspirational for non-air-conditioned spaces by use of appropriate thermal insulation to fulfill requirement.	The proposed building construction is being done as per approvals received and it will meet standards of ECBC and NBC.
42	The building should have adequate distance between them to allow	The building will maintain adequate distance to proper movement of fresh air and passage

	movement of fresh air and passage of natural light, air and ventilation.	of natural light, air and ventilation. Layout plan & Typical floor plan is attached as Annexure - 21
43	Regular supervision of above and other measures for monitoring should be in place all through the Construction phase, so as to avoid disturbance to the surroundings.	PP agreed and assure for continual supervision and proper measures will be taken.
44	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the Project proponent if it was found that construction of the project has been started without obtaining environmental clearance.	We have obtained the Environmental Clearance vide no. SEAC 2010/CR 375/TC 2 dated 18th January, 2012 Copy of EC is attached here as Annexure 02.
45	Six monthly monitoring reports should be submitted to the Department and MPCB.	PP will submit the six monthly monitoring reports to the department and MPCB on regular basis.
46	A complete set of all documents submitted to the Department should be forwarded to the MPCB	Developer is submitting one copy of this report along with approvals received for the project to MPCB.
47	In case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department	Yes, developer has agreed to the mentioned condition. If any change occurs in proposed projects, developer would apply for revised approval.
48	A separate environmental management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards	The Existing environment management cell have qualified staff that is looking after the EHS activities and during operational phase society chairman will timely keep update of

		environment services. Refer Annexure 22 - for Environment Management Cell.
49	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for any other purposes and year- wise expenditure should reported to the MPCB & this Department.	The separate EMP budget is allocated and it will be mentioned along with item-wise breaks-up in EMP report. The funds earmarked for the environment protection measures have been utilized for allocated environment activities. Year-wise expenditure will be reported to the MPCB & this department. Refer Annexure C
50	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of the clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in	PP has agreed to follow this condition. Refer Annexure 23 – for Newspaper Advertisement.
51	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms & conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.	PP will submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
52	A copy of clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations,	A copy of the clearance letter has been sent to the MCGM and the local NGO by proponent.

	if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.	
53	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely: SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	Status of compliance of the stipulated EC conditions will be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the MPCB. The criteria pollutant levels namely; SPM, RSPM. SO ₂ , NO _x of the project have monitored and results are attached in Annexure 13
54	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal office of CPCB and the SPCB.	The PP has submitted the six monthly reports on the status of compliance including results of monitored data to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
55	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective	PP agreed.

	RO of MoEF by e-mail.	
4.	The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give any immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.	Yes, developer agreed to follow the mentioned condition.
5	In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the environmental clearance without any intimation and initiate appropriate legal action under Environmental Protection Act 1986.	Yes, developer agreed to follow the mentioned condition.
6	The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.	Yes, developer agreed to follow the mentioned condition
7	Validity of Environmental Clearance: The environmental clearance accorded shall be valid for a period of 5 years	Yes, developer has agreed to follow the mentioned condition. Now as per Notification no. S.O. 1141 (E) dated 29th April, 2015 now the validity has extended to 7 years
8	In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be	Yes, if there is any change in project occurs developer will make fresh proposal to the environment department.

	made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any	
9	The above Stipulations would be enforced among others under the provisions of the Water (Prevention and Control of Pollution) Act 1974,the Air (Prevention and Control of Pollution) Act 1981,The Environment (Protection)Act,1986 and rules there under, hazardous waste (Management and Handling) rules,1989 and its amendments, the public Liability (Insurance) Act,1991 and its amendments.	Yes, if there is any change in project occurs developer will make fresh proposal to the environment department.
10	Any appeal against this environmental clearance shall lie with the National Green Tribunal, Van Vigyan Bhavan, Sec-5, R.K. Puram, New Delhi – 110 022, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.	Yes, if there is any change in project occurs developer will make fresh proposal to the environment department.

Project Details:

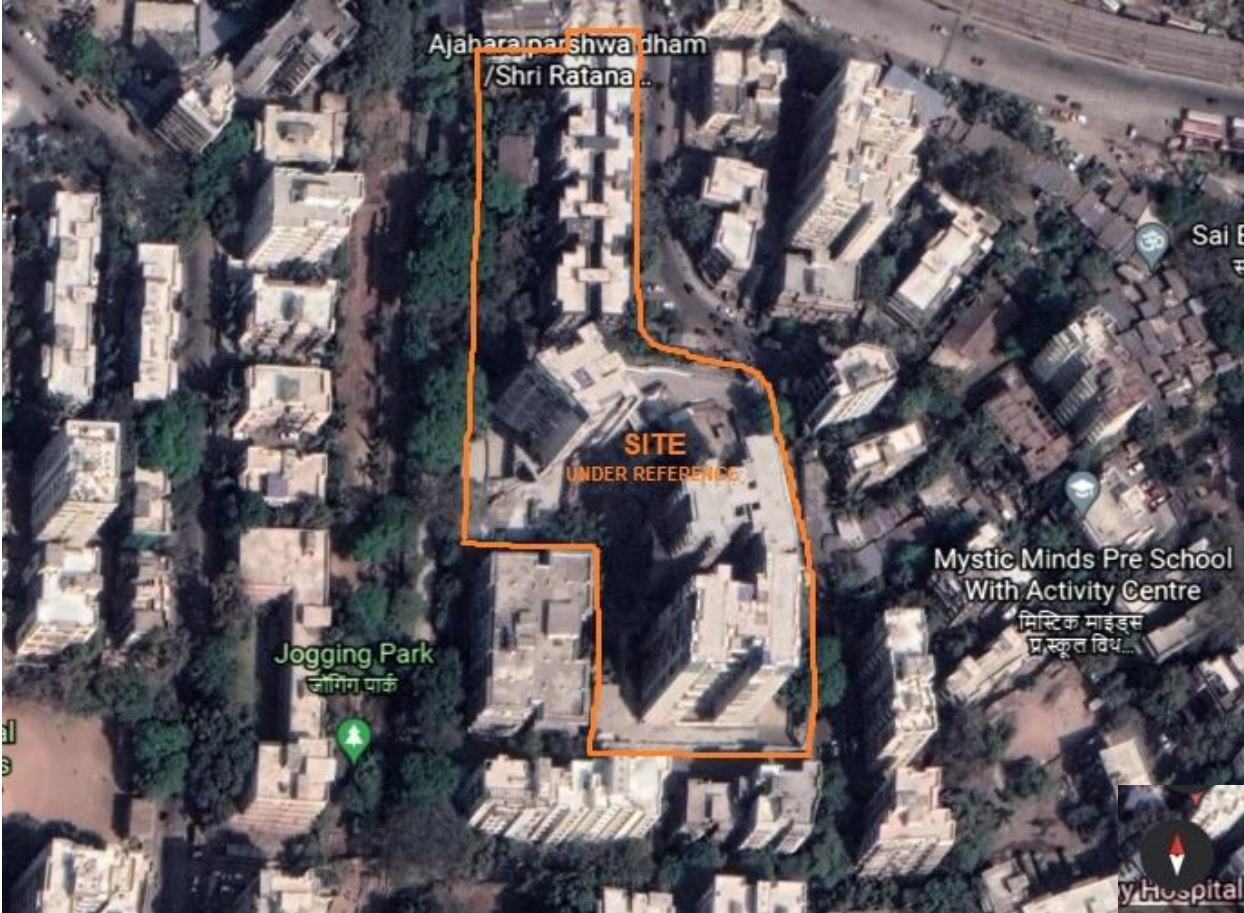
Sr. No.	Description	Details						
1	Plot Area (sq. m.)	10360.2 sq. m						
2	FSI Area (sq m.)	19128.93 sq. m						
3	Non-FSI (sq. m.)	28268.97 sq. m						
4	Proposed built-up area (FSI + Non FSI) (sq. m.)	47397 sq. m						
5	Building Configuration	1 Building: 6 Wings of 2 Basements + Part Ground floor +Part Stilt + 12 upper floors						
6	No. of Tenements & Shops	Rehabilitation for Existing occupants: Flats: 88 Shops: 27 Sale : Flats: 176						
7	Total Population (Nos.)	-						
8	Total Water Requirements (CMD)	197 KLD						
9	Sewage Generation (CMD)	159 KLD						
10	STP Capacity & Technology	Total STP Capacity: 180 KLD, SAFF Technology						
11	STP Location	Ground Floor						
12	Total Solid Waste Quantities	Wet Waste: 422 kg/day Dry Waste: 192 kg/day Total Waste Generated: 614 Kg/Day						
13	R.G. Area (sq. m).	3245.40						
14	Power requirement	During Operation Phase: <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Details</th> <th></th> </tr> </thead> <tbody> <tr> <td>Connected Load (kW)</td> <td style="text-align: right;">3131.30 KW</td> </tr> <tr> <td>Demand Load (kW)</td> <td style="text-align: right;">1164.70 KW</td> </tr> </tbody> </table>	Details		Connected Load (kW)	3131.30 KW	Demand Load (kW)	1164.70 KW
Details								
Connected Load (kW)	3131.30 KW							
Demand Load (kW)	1164.70 KW							

15	Energy Efficiency	-
16	D.G. set capacity	1 DG set of 500 KVA
17	Parking 4W & 2W	4W: 460 Nos. 2W:66 Nos.
18	Rain water harvesting scheme	2 RWH tanks of total capacity 136 m ³ /day 4 no of recharge pits
19	Project Cost in (Cr.)	90 Cr
20	EMP Cost	Operation Phase: Capital Cost: 64.41 Lakhs O & M Cost: 21.30 Lakhs Construction Phase: 10.24 lakhs
21	CER Details (with justification, if any)	-

List of Annexures

Annexure No.	Annexure Name
1.	Google Location
2.	Environment Clearance Copy
3.	IOD letter and plan
4.	Occupation Certificate
5.	Civil Aviation NOC
6.	DP Remarks
7.	Consent to establish
8.	Sanitary and Hygienic measures provided to workers
9.	SWM Details
10.	Debris Management NOC
11.	Details of Green Belt Development Plan
12.	Tree NOC
13.	Monitoring Reports
14.	PUC Certificates
15.	CFO NOC
16.	Structural Stability Certificate
17.	SWD Remarks & RWH details
18.	Water Details
19.	Energy Saving Calculations
20.	Parking Plans & Parking Statement
21.	Layout Plan & Typical floor Plans
22.	Environment Management Cell
23.	Newspaper Advertisement

Annexure 1: Google Location



Annexure 2: Environment Clearance Copy

Government of Maharashtra

File No.: SEAC 2010/CR 375/TC-2
 Environment department,
 Room No. 217, 2nd floor,
 Mantralaya Annexe,
 Mumbai 400 032
 Date: 18th January, 2012

To,
 M/s. Girnar developers,
 Gordhan Building No. II, 2nd floor,
 12/14, Dr. Parekh Street,
 Prathana Samaj, Mumbai – 400 004
 Tel . no. : 022- 30608546

Subject: Proposed Residential development at CTS No 1271-B/1 of village Ghatkopar, Kirol, Ghatkopar (W), Mumbai by M/s. Girnar Developers - Environmental clearance regarding.

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee, Maharashtra in its 47th meeting and decided to recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 42nd Meeting held on 23rd/24th November, 2011.

2. It is noted that the proposal is for grant of Environmental Clearance Proposed Residential development at CTS No 1271-B/1 of village Ghatkopar, Kirol, Ghatkopar (W), Mumbai by M/s. Girnar Developers. SEAC considered the project under screening category 8 (a) as per EIA Notification 2006.

Brief Information of the project is summarized as below-

Name of the Project	: Residential development Project
Project Proponent	: M/S. Girnar developers
Location of the project	: CTS No 1271-B/1 of village Ghatkopar, Kirol, Ghatkopar (W), Mumbai
Type of Project	: Construction project
Plot Area	: 10360.2 Sq.mt.
Built up area	: As per FSI: 19128.93 Sq. m. Non FSI area: 28,268.97 sq.m. Total construction area : 47,397. 0 sq.m
Estimated cost of the project	: 90.00 Cr
No. of Buildings	: 1 Building: 6 Wings of 2 Basements+ Part Ground floor + Part stilt + 12 Upper Floors.

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Six Monthly Post Monitoring Report (January 2022 –June 2022)

M/s. Girnar Developers

Prepared by QCI-NABET Accredited Consultant Enviro Policy Research India Pvt. Ltd. (EPRIPL)

Water Requirement	<ul style="list-style-type: none"> • Fresh water: 121 m³/day, Source: - MCGM • Recycled water: 76 m³/day.
Wastewater generated	159 m ³ /day
Capacity of STP	180m ³ /day, (STP Technology : SAFF)
Rain water Harvesting	<ul style="list-style-type: none"> • 2 Rain Water Harvesting tanks of total capacity 136 m³ provided. • 4 No of recharge pits for rain water harvesting.
Solid Waste Generation	<ul style="list-style-type: none"> • Biodegradable waste: 422 Kg/day • Non Biodegradable waste: 192 kg/day • STP Sludge (Dry sludge) : 24 kg/day
Disposal	<ul style="list-style-type: none"> • Wet garbage will be treated in an Organic Waste Converter (OWC) and the dry garbage shall be handed over to M.C.G.M. • Dried sludge from STP will be used as manure.
Energy	<ul style="list-style-type: none"> • Power Requirement: connected load: 3131.30 KW; Max. demand : 1164.70 kW, source: Local Authority • Power back up:1 D.G. set of 500 kVA
Energy Conservation	<ul style="list-style-type: none"> • Day mode / evening modes and night mode for lighting control with use of timers. • Use of Electronic ballast less than 10% THD & 0.95 P.F. for all Fixtures. • Use of Energy efficient lamps like T5 / CFL / LED as per design. • Use of Energy efficient equipments like low loss Transformers & Switchgears • Use of Solar energy for landscape lighting.
Traffic Management	<ul style="list-style-type: none"> • Parking area: 13,476.58 Sq.m. • 2-Wheeler: 66 • 4-Wheeler: 460 Nos.
Green Belt Development	<ul style="list-style-type: none"> • Landscape development: 3245.40 Sq.m • Total No. of trees to be planted: 119 Nos.
Environment Management Plan	<p>Construction Phase: Rs. 10.24 Lakhs Operation Phase: Total capital cost for EMP shall 64.41 lakhs and O & M for EMP shall be 21.30 lakhs.</p>

3. The proposal has been considered by SEIAA in its 42nd meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions :-

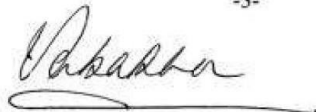
- (i) This environmental clearance is issued subject to land use verification. Local authority / planning authority should ensure this. This environmental clearance issued with respect to the environmental consideration and it does not mean that State Level Impact Assessment Authority (SEIAA) approved the proposed land use.
- (ii) Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
- (iii) Local body should ensure that no occupation certificate will be issued prior to operation of STP/MSW site with due permission of MPCB. Physical possession

-2-



- should be given only after completion of environmental & other infrastructure for which development charges are being collected by local body.
- (iv) The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. ULB should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
 - (v) "Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
 - (vi) All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
 - (vii) Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
 - (viii) Provision shall be made for the housing of construction labour within the site with all necessary infrastructure and facilities such as fuel for cooking, mobile toilets, mobile STP, safe drinking water, medical health care, crèche and First Aid Room etc.
 - (ix) Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
 - (x) The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material
 - (xi) Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
 - (xii) Arrangement shall be made that waste water and storm water do not get mixed.
 - (xiii) All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
 - (xiv) Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
 - (xv) Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
 - (xvi) Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
 - (xvii) Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
 - (xviii) Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
 - (xix) Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.

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- (xx) The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- (xxi) The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
- (xxii) Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- (xxiii) Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- (xxiv) Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
- (xxv) Ready mixed concrete must be used in building construction.
- (xxvi) The approval of competent authority shall be obtained for structural safety of the buildings due to any possible earthquake, adequacy of fire fighting equipments etc. as per National Building Code including measures from lighting.
- (xxvii) Storm water control and its re-use as per CGWB and BIS standards for various applications.
- (xxviii) Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
- (xxix) The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- (xxx) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the Ministry before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Treatment of 100% gray water by decentralized treatment should be done. Discharge of unused treated affluent shall conform to the norms and standards of the Maharashtra Pollution Control Board. Necessary measures should be made to mitigate the odour problem from STP.
- (xxxix) Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
- (xxxixii) Permission to draw ground water shall be obtained from the competent Authority prior to construction/operation of the project.
- (xxxixiii) Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
- (xxxixiv) Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- (xxxixv) Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
- (xxxixvi) Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement
- (xxxixvii) Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly

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collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non conventional energy source as source of energy.

- (xxxviii) Diesel power generating sets proposed as source of back up power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- (xxxix) Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
- (xl) Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- (xli) Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspirational for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement
- (xlii) The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation
- (xliii) Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
- (xliv) Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
- (xlv) Six monthly monitoring reports should be submitted to the Department and MPCB.
- (xlvi) A complete set of all the documents submitted to Department should be forwarded to the MPCB
- (xlvii) In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
- (xlviii) A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- (xlix) Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
- (l) The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at <http://ec.maharashtra.gov.in>.
- (li) Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
- (lii) A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if

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- any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- (liii) The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
 - (liv) The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
 - (lv) The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
 5. In case of submission of false document and non compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environmental Clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
 6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.
 7. **Validity of Environment Clearance:** The environmental clearance accorded shall be valid for a period of 5 years.
 8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.
 9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

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10. Any appeal against this environmental clearance shall lie with the National Green Tribunal, Van Vigyan Bhawan, Sec- 5, R.K. Puram, New Dehli – 110 022, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.



(Valsa R Nair Singh)
Secretary, Environment
department & MS, SEIAA

Copy to:

1. Shri. P.M.A Hakeem, IAS (Retd.), Chairman, SEIAA, 'Jugnu' Kottaram Road, Calicut- 673 006 Kerla.
2. Shri. Dr. S. Devotta, Chairman, SEAC, T2/302 Sky City, Vanagaram –Ambattur Road, Chennai – 600 095
3. Additional Secretary, MOEF, 'Paryavaran Bhawan' CGO Complex, Lodhi Road, New Delhi – 110510
4. Member Secretary, Maharashtra Pollution Control Board, with request to display a copy of the clearance.
5. The CCF, Regional Office, Ministry of Environment and Forest (Regional Office, Western Region, Kendriya Paryavaran Bhavan, Link Road No- 3, E-5, Ravi-Shankar Nagar, Bhopal- 462 016). (MP).
6. Regional Office, MPCB, Mumbai.
7. Collector, Mumbai (sub-urban)
8. Commissioner, Brihan Mumbai Municipal Corporation.
9. IA- Division, Monitoring Cell, MoEF, Paryavaran Bhavan, CGO Complex, Lodhi Road, New Delhi-110003.
10. Director (TC-1), Dy. Secretary (TC-2), Scientist-1, Environment Department.
11. Select file (TC-3).

Annexure 3: IOD Letter & Plan

346
Form 88

in replying please quote No. and date of this letter. **Valid upto 18.7 DEC 2011** 611

This IOD is issued subject to compliance of the provision of U.L. (C & R) Act. 1976.
MUNICIPAL CORPORATION OF GREATER MUMBAI

Intimation of Disapproval under Section 346 of the Mumbai Municipal Corporation Act, as amended up to date.

No. CHE/ES/0694/N/337(NEW) Of

MEMORANDUM **CE/ 6284 /BPES/AN** **18 DEC 2010**
Municipal Office,
Mumbai

To,
M/s GIRNAR BUILDERS & DEVELOPERS C.A TO OWNER
112-122, Hira Bhavan, Raja Ram Mohan Roy Road, Prarthana Samaj, Mumbai - 400004

With reference to your Notice, letter No. 4423 dated 21/5/10 and delivered on and the plans, Sections Specifications and description and further particulars and details of your buildings at Plot No. 100, on property bearing CHS No. 127/1B-1 to 4 of village, Ghankapur (East of Shivdaga Lane, Ghankapur) furnished to me under your letter, dated 18/12/10 I have to inform you that I cannot approve of the building or work proposed to be erected or executed, and I therefore hereby formally intimate to you, under Section 346 of the Mumbai Municipal Corporation Act as amended up to-date, my disapproval by reasons thereof :-

- A : CONDITIONS TO BE COMPLIED WITH BEFORE STARTING THE WORK BEFORE PLINTH C.C.**
- 1 That the work shall not be carried out between 7.00a.m. to 7.00p.m.
 - 2 That the qualified registered site supervisor through architect/structural engineer will not be appointed before applying for C.C. & his name and licence No. duly revalidated will not be submitted.
 - 3 That adequate care in planning, designing and carrying out construction will not be taken in the proposed building to provide for the consequence of settlement of floors and plinth filling etc.
 - 4 That adequate care will not be taken to safeguard the trees existing on the plot while carrying out construction work & remarks from S.G. shall not be submitted.
 - 5 That the notice under Sec.347 (1)(a) of the Mumbai Municipal Corporation Act will not be sent for intimating the date of commencement of the work
 - 6 That this office will not be intimated in prescribed proforma for checking the opens spaces and building dimensions as soon as the work upto plinth is completed
 - 7 That the clearance certificate from assessment Department regarding upto date payment of Municipal taxes etc. will not be submitted
 - 8 That the requirement of bye law 4(c) will not be complied with before starting the drainage work and in case Municipal sewer is not laid, the drainage work will not be carried on as per the requirement of Executive Engineer (Sewerage Project), Planning & completion certificate from him will not be submitted.
 - 9 That the copy of Intimation of Disapproval conditions & other layout or sub division conditions imposed by the Corporation in connection with the developmental site shall not be given to the would be purchaser and also displayed at site.
 - 10 That the N.A. permission from the Collector of Mumbai shall not be submitted.
 - 11 That a Janata Insurance Policy or policy to cover the compensation claims arising out of Workmen's Compensation Act 1923 will not be taken out before starting the work and will not be renewed during the construction.
 - 12 That the development charges as per M.R.T.P.(amendment) Act 1992 will not be paid.
 - 13 That the carriage entrance shall not be provided before starting the work.
 - 14 That the registered undertaking in prescribed proforma agreeing to demolish the excess area if constructed beyond permissible F.S.I. shall not be submitted before asking for C.C.
 - 15 That the adequate & decent temporary sanitary accommodation will not be provided for construction workers on

[Handwritten Signature]
S.E.B.P.N
18/12/10

[Handwritten Signature]
A.E.B.P. (L&N)
18/12/10

[Handwritten Signature]
Executive Engineer Building Proposal
(Eastern Suburbs.) 18/12/10

- CE/ 6284 BPES/AN 18 JUL 2010 613
- before starting the work.
- 16 That the documentary evidence regarding ownership, area and boundaries of holding is not produced by way of abstracts form the District Inspector of Land Records, extracts from City Survey Record and conveyance deed etc.
 - 17 That separate P.R.Cards for each sub-divided plots, road etc.will not be submitted.
 - 18 That the debris will not be removed before submitting the building completion certificate and requisite deposit will not be paid before starting the work towards faithful compliance thereof.
 - 19 That the No Objection Certificate from Hydraulic Engineer for the proposed development will not be obtained and his requirements will not be complied with
 - 20 That the registered undertaking agreeing to form Co-op. Housing society will not be submitted before starting the work.
 - 21 That the society will not be formed & got registered and true copy of the registration of society will not be submitted.
 - 22 That the proposal for amended layout / sub-station shall not be submitted and get approved before starting the work and terms and conditions thereof will not complied with
 - 23 That the proposal will contravene the section 251 (A)(A) of the Mumbai Municipal Corporation Act.
 - 24 That the remarks from Asst.Engineer, Water Works regarding location, size capacity of the suction tank, overhead storage tank for proposed and existing work willnot be submitted before starting the work and his requirements will not be complied with.
 - 25 That the capacity of overhead tank will not be provided as per 'P' form issued by department of Hydraulic Engineer and structural design to that effect admitted before requesting to grant commencement certificate
 - 26 That the undertaking for paying additional premium due to increase in land rate as and when demanded shall not be submitted.
 - 27 That the board mentioning the name of Architect/Owner shall not be displayed on site.
 - 28 That the debris management plan shall not be submitted to S.W.M. Department.
 - 29 That the necessary remarks for training of nalla/construction of S.W.D. will not be obtained from Dy.Ch.E.(S.W.D.)City & Central cell, before plinth C.C. and compliance of said remarks will not be insisted before granting full C.C. for the building.
 - 30 That the requirements as per circular no. CE/PD/12387 of 17.3.2005 shall not be complied with during the execution of work.
 - 31 That the C.C. shall not be asked unless payment of advance for providing treatment at construction site to prevent epidemics like Dengue, Malaria etc. is made to the Insecticide Officer of the concerned ward office and provision shall not be made as and when required by Insecticide Officer for inspection of water tanks by providing safe and stable ladder, etc. and requirements as communicated by the Insecticide Officer shall not be complied with.
 - 32 That the agreement with existing tenants along with the plans for demolition of their tenements for acceptance of alternate accommodation will not be submitted before C.C.
 - 33 That the P.R. Card in words will not be submitted before C.C.
 - 34 That the N.O.C from C.F.O. will not be obtained and the requisitions , if any will not be complied with.
 - 35 That the commencement certificate under Sec.45/69(1)(a) of the M.R. & T.P.Act shall not be obtained before starting the proposed work.
 - 36 That the compound wall shall not be constructed on all sides of the plot clear of road widening line with foundation below the bottom of road side drain without obstructing the flow of rain water from the adjoining holding to prove possession of holding before starting the work as per D.C.Regulation No.38(27).
 - 37 That the low lying plot shall not be filled up to reduced level of atleast 92 T.H.D.or 6" above adjoining road level whichever is higher with murum, earth, boulders, etc.and will not be leveled, rolled, consolidated and sloped towards road side before starting the work.
 - 38 That the debris generated / building material is dumped within a periphery of 50.00 mts from mangroos.
 - 39 That the Licensed Structural Engineer will not be appointed, supervision memo as per appendix XI Regulation 5(3)(IX) will not be submitted by him.
 - 40 That the Indemnity Bond indemnifying the Corporation for any action pending on existing structure, any legal dispute of plot, ownership, accident, damage risks, no nuisance to neighbourhood and occupants etc will not be submitted.
 - 41 That the structural design and calculations for the proposed work considering seismic forces as per I.S.Code Nos. 456-2000, 13920 - 1993, 4326 and 1893 - 2002 as per circular u.no.CE/PD/11945/1 dated 2.2.2006 for existing building showing adequacy thereof to take up additional load will not be submitted by him.
 - 42 That the regular/sanctioned/ proposed lines and reservations will not be got demarcated at site through A.E. (Survey)/E.E.(T&C)/E.E.(D.P.)/D.I.L.R.before applying for C.C.
 - 43 That the registered undertaking and additional copy of plan shall not be submitted for agreeing to hand over the setback land free of compensation and that the setback handing over certificate will not be obtained from Ward Officer and the ownership of the setback land will not be transferred in the name of M.C.G.M.

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18/7/10

[Signature]
A.E.S.P. (L&N)

Executive Engineer Building Proposal
(Eastern Suburbs.) *[Signature]*

- CE/ 62.84 /BPES/A/N 18 DEC 2010**
- 44 That the N.O.C. from MMRDA for plot affected by influence zone of MRTS alignment station shall not be submitted.
- 45 That the N.O.C. from concerned electric power supply company will not be obtained and the requisitions, if any, will not be complied with before occupation certificate/B.C.C.
- 46 That the basement will not comply with the Basement Rules and regulations regarding height, ventilation users, etc and registered undertaking for not misusing the basement will not be submitted before C.C.
- 47 That the Regd. Undertaking shall not be submitted by the Owner/ Builder/ Developer to sell the tenements on carpet area basis only & to abide by the provisions of MOFA Act amended upto date & the Indemnity Bond indemnifying MCGM & its Officers from any legal complication arising due to MOFA Act shall not be submitted.
- 48 That NOC from H.E. Dept. for plot abutting to pipe line shall not be submitted.
- 49 That the true copy of sanctioned layout sub-division /amalgamation approved under NoCE/133/BPES/LON dtd 29.798 alongwith the terms and conditions will not be submitted before C.C. and compliance thereof will not be done before submission of B.C.C.
- 50 That the no dues pending certificate will not be submitted from the concerned Asst.Engineer, Water Works department before C.C.

B : CONDITIONS TO BE COMPLIED WITH BEFORE FURTHER C.C.

- 1 That the N.O.C. from Civil Aviation Department will not be obtained for the proposed height of the building.

C : GENERAL CONDITIONS TO BE COMPLIED WITH BEFORE O.C.

- 1 That some of the drains will not be laid internally with C.I.pipes.
- 2 That the dust bin will not be provided as per C.E.'s circular No.CE/9296/11 of 26.6.1978.
- 3 That the surface drainage arrangement will not be made in consultation with Executive Engineer (S.W.D.) or as per his remarks and a completion certificate will not be obtained and submitted before applying for occupation certificate
- 4 That the existing well will not be covered with R.C.C. slab
- 5 That 10 ft.wide paved pathway upto staircase will not be provided.
- 6 That the surrounding open spaces, parking spaces and terrace will not be kept open and unbuilt upon and will not be levelled and developed before requesting to grant permission to occupy the building or submitting the B.C.C.whichever is earlier.
- 7 That the name plate/board showing plot No.name of the building etc.will not be displayed at a prominent place before O.C.C./B.C.C.
- 8 That the parking spaces shall not be provided as per D.C.Regulation No.36.
- 9 That B.C.C. will not be obtained and I.O.D.and debris deposit etc.willnot be claimed for refund within a period of 6 years from the date of its payment.
- 10 That the provision will not be made for making available water for flushing and other non-potable purposes through a system of borewell and pumping that water through a separate overhead tank which will be connected to the drainage system and will not have any chances of mixing with the normal water supply of the Corporation.
- 11 That the certificate to the effect that the licensed surveyor has effectively supervised the work and has carried out tests for checking leakages through sanitary blocks, termites, fixtures, joints in drainage pipes etc.and that the workmanship is found very satisfactory shall not be submitted.
- 12 That one set of plans mounted on canvas will not be submitted.
- 13 That the certificate from Lift Inspector regarding satisfactory installation and operation of lift will not be submitted.
- 14 That the adequate provision for post-mail boxes shall not be made at suitable location on ground floor /stilt.
- 15 That the every part of the building construction and more particularly, overhead tank will not be provided with a proper access for the staff of Insecticide Officer with a provision of temporary but safe and stable ladder etc.
- 16 That the final NOC from S.G. shall not be submitted.
- 17 That the requisitions of clause No.45 & 46 of D.C.R.91 shall not be complied with.
- 18 That the infrastructural works such as; construction of handholes/manholes, ducts for underground cables, concealed wiring inside the flats/rooms, rooms/space for telecom installations etc. required for providing telecom services shall not be provided.
- 19 That the provision for rain water harvesting as per design prepared by approved consultant in the field shall not be made to the satisfaction of Municipal Commissioner.
- 20 That the Vermiculture bins for disposal of wet waste as per the design and specification of Organisations / individuals specialized in this field, as per the list furnished by Solid Waste Management Department of MCGM, shall not be provided to the satisfaction of Municipal Commissioner.

D : CONDITIONS TO BE COMPLIED WITH BEFORE B.C.C.

- 1 That certificate under Section 270-A of the Mumbai Municipal Corporation Act will not be obtained from H.E.'s

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18/12/10

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A.E.B.P. (L&N)

Executive Engineer Building Proposa
(Eastern Suburbs) *[Signature]*

CE/ 8289
department regarding adequacy of water supply.

BPES/AM 18 DEC 2010

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Executive Engineer Building Proposal
(Eastern Suburbs.)

SE, P.N

A.E.

CE/ 6284 /BPES/W 18/11/2019

619

- () That proper gutters and down pipes are not intended to be put to prevent water dropping from the leaves of the roof or public street.
- () That the drainage work generally is not intended to be executed in accordance with the Municipal requirements.

Subject to your so modifying your intention as to obviate the before mentioned objections and meet by requirem but not otherwise you will be at liberty to proceed with the said building or work at anytime before the day of but not sc contrivance any of the provision of the said Act, as amended as aforesaid or any rule, regulations or bye-law made und that Act at the time in force.
Your attention is drawn to the Special Instructions and Note accompanying this Intimation of Disapproval.

Executive Engineer, Building Proposals,
E Zone, II Wards. 5/10

S.E.B.P./N
18/11/19

A.E.B.P. (L&N)
18/11/19

SPECIAL INSTRUCTIONS

THIS INTIMATION GIVES NO RIGHT TO BUILD UPON GROUND WHICH IS NOT YOUR PROPERTY.

2. Under Section 68 of the Bombay Municipal Corporation Act, as amended, the Municipal Commissioner for Greater Mumbai has empowered the City Engineer to exercise, perform and discharge the powers, duties and functions confere and imposed upon and vested in the Commissioner by Section 346 of the said Act.
3. Under Byelaw, No. 8 of the Commissioner has fixed the following levels :-
"Every person who shall erect as new domestic building shall cause the same to be built so that every part of the plinth sh be—
a) Not less than, 2 feet (60 cms.) above the center of the adjoining street at the nearest point at which the drain from such building can be connected with the sewer than existing or thereafter to be- laid in such street
b) Not less than 2 feet (60 cms.) Above every portion of the ground within 5 feet (160 cms.)-of such building.
c) Not less than 92 ft. (28.05 m) above Town Hall Datum.
4. Your attention is invited to the provision of Section 152 of the Act whereby the person liable to pay property taxes is required to give notice of erection of a new building or occupation of building which has been vacant, to the Commissi within fifteen days of the completion or of the occupation whichever first occurs. Thus compliance with this provision is punishable under Section 471 of the Act irrespective of the fact that the valuation of the premises will be liable to be re under Section 167 of the Act, from the earliest possible date in the current year in which the completion on occupation detected by the Assessor and Collector's Department.
5. Your attention if further drawn to the provision of Section 353-A about the necessary of submitting occupation certifi with a view to enable the Municipal Commissioner for Greater Mumbai to inspect your premises and to grant a permis before occupation and to levy penalty for non-compliance under Section 471 if necessary.
6. Proposed date of commencement of work should be communicated as per requirements of Section 347 (1) (aa) of Bombay Municipal Corporation Act.
7. One more copy of the block plan should be submitted for the Collector, Mumbai Suburbs District.
8. Necessary permission for Non-agricultural use of the land shall be obtained from the Collector Mumbai Suburban District before the work is started. The Non-agricultural assessment shall be paid at the site that may be fixed by the Collector, under the Land Revenue Code and Rules there under.

Attention is drawn to the notes Accompanying this Intimation of Disapproval.

S.E.B.P./N
18/11/19

A.E.B.P. (L&N)
18/11/19

Executive Engineer Building Proposa
E (Eastern Suburbs.) II ic

No. EB/CE/ 6484 /BS

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18 DEC 2010

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NOTES

- 1) The work should not be started unless objections are complied with
- 2) A certified set of latest approved plans shall be displayed on site at the time of commencement the work and during the progress of the construction work.
- 3) Temporary permission on payment of deposit should be obtained any shed to house and store for construction purpose, Residence of workmen shall not be allowed on site. The temporary structures for storing constructional material shall be demolished before submission of building completion certificate and certificate signed by Architect submitted along with the building completion certificate.
- 4) Temporary sanitary accommodation on full flushing system with necessary drainage arrangement should be provided on site workers, before starting the work.
- 5) Water connection for constructional purpose will not be given until the hoarding is constructed and application made to the Ward Officer with the required deposit for the construction of carriage entrance, over the road side drain.
- 6) The owners shall intimate the Hydraulic Engineer or his representative in Wards atleast 15 days prior to the date of which the proposed construction work is taken in hand that the water existing in the compound will be utilised for their construction works and they will not use any Municipal Water for construction purposes. Failing this, it will be presume that Municipal tap water has been consumed on the construction works and bills preferred against them accordingly.
- 7) The hoarding or screen wall for supporting the depots of building materials shall be constructed before starting any work even though no materials may be expected to be stabled in front of the property. The scaffoldings, bricks metal, sand preps debris, etc. should not be deposited over footpaths or public street by the owner/ architect /their contractors, etc without obtaining prior permission from the Ward Officer of the area.
- 8) The work should not be started unless the manner in obviating all the objection is approved by this department.
- 9) No work should be started unless the structural design is approved.
- 10) The work above plinth should not be started before the same is shown to this office Sub-Engineer concerned and acknowledgement obtained from him regarding correctness of the open spaces & dimension.
- 11) The application for sewer street connections, if necessary, should be made simultaneously with commencement of the work as the Municipal Corporation will require time to consider alternative site to avoid the excavation of the road an footpath.
- 12) All the terms and condition of the approved layout /sub-division under No. of should be adhered to and complied with.
- 13) No Building /Drainage Completion Certificate will be accepted non water connection granted (except for the construction purpose) unless road is constructed to the satisfaction of the Municipal Commissioner as per the provision of Section 345 of the Bombay Municipal Corporation Act and as per the terms and conditions for sanction to the layout.
- 14) Recreation ground or amenity open space should be developed before submission of Building Completion Certificate.
- 15) The access road to the full width shall be constructed in water bound macadam before commencing work and should be complete to the satisfaction of Municipal Commissioner including asphaltting lighting and drainage before submission of the Building Completion Certificate.
- 16) Flow of water through adjoining holding or culvert, if any should be maintained unobstructed.

Signature
S.E.B.P.N
18/12/10

Signature
A.E.B.P. (L&N)
18/12/10

Signature
Executive Engineer Building Proposal
N.E. (Eastern Suburbs.) & I.C.

- CE/ 6224 /BPESIA/M 18 DEC 2010 (2)
- 17) The surrounding open spaces around the building should be consolidated in Concrete having broke glass pieces at the rate of 12.5 cubic meters per 10 sq. meters below payment.
 - 18) The compound wall or fencing should be constructed clear of the road widening line with foundation below level of bottom of road side drain without obstructing flow of rain water from adjoining holding before starting the work to prove the owner's holding.
 - 19) No work should be started unless the existing structures proposed to be demolished are demolished.
 - 20) The Intimation of Disapproval is given exclusively for the purpose of enabling you to proceed further with the arrangements of obtaining No Objection Certificate from the Housing Commissioner under Section 13 (h) (H) of the Rent Act and in the event of your proceeding with the work either without an intimation about commencing the work under Section 347(1) (aa) or your starting the work without removing the structures proposed to be removed the act shall be taken as a severe breach of the conditions under which this Intimation of Disapproval is issued and the sanctioned will be revoked and the commencement certificate granted under Section 45 of the Maharashtra Regional and Town Planning Act 1966, (12 of the Town Planning Act), will be with drawn.
 - 21) If it is proposed to demolish the existing structures be negotiations with the tenant, under the circumstances, the work as per approved plans should not be taken up in hand unless the City Engineer is satisfied with the following:-
 - i. Specific plans in respect of evicting or rehusing the existing tenants on hour stating their number and the areas in occupation of each.
 - ii. Specifically signed agreement between you and the existing tenants that they are willing to avail or the alternative accommodation in the proposed structure at standard rent.
 - iii. Plans showing the phased programme of constructions has to be duly approved by this office before starting the work so as not to contravene at any stage of construction, the Development control Rules regarding open spaces, light and ventilation of existing structure.
 - 22) In case of extension to existing building, blocking of existing windows of rooms deriving light and its from other sides should be done first starting the work.
 - 23) In case of additional floor no work should be start or during monsoon which will same arise water leakage and consequent nuisance to the tenants staying on the floor below.
 - 24) The bottom of the over hand storage work above the finished level of the terrace shall not be more than 1 metre.
 - 25) The work should not be started above first floor level unless the No Objection Certificate from the Civil Aviation Authorities, where necessary is obtained.
 - 26) It is to be understood that the foundations must be excavated down to hard soil.
 - 27) The positions of the nahanis and other appurtenances in the building should be so arranged as not to necessitate the laying of drains inside the building.
 - 28) The water arrangement nut be carried out in strict accordance with the Municipal requirements.
 - 29) No new well, tank, pond, cistern or fountain shall be dug or constructed without the previous permission in writing of the Municipal Commissioner for Greater Mumbai, as required in Section 381-A of the Municipal Corporation Act.
 - 30) All gully traps and open channel drains shall be provided with right fitting mosquito proof made of wrought iron plates or hinges. The manholes of all cisterns shall be covered with a properly fitting mosquito proof hinged cast iron cap over in one piece, with locking arrangement provided with a bolt and huge screwed on highly serving the purpose of lock and the warning pipes of the rabbet pretested with screw or dome shape pieces (like a garden mari rose) with copper pipes with perfections each not exceeding 1.5 mm in diameter. The cistern shall be made easily, safely and permanently accessible be providing a firmly fixed iron ladder, the upper ends of the ladder should be earmarked and extended 40 cms above the top where they are to be fixed as its lower ends in cement concrete blocks.
 - 31) No broken bottles should be fixed over boundary walls. This prohibition refers only to broken bottles to not to the use of plane glass for coping over compound wall.

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18/11/10

Executive Engineer Building Proposal
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- 32) a Louvres should be provided as required by Bye0law No. 5 (b)
- b Lintels or Arches should be provided over Door and Windows opening
- c The drains should be laid as require under Section 234-1(a)
- d The inspection chamber should be plastered inside and outside.

600

33) If the proposed additional is intended to be carried out on old foundations and structures, you will do so as your own risk.

18 DEC 2010 18 DEC 2010
 CE/ 6284 /BPES/AN

ASSTO M. N. WARD / AR. WARD / OP. A. C. R. B. /
 The collector m.s.d / EETP / O. W. R. G. / B. O. O. H. A. /
 Executive Engineer, Building Proposals
 Zones E.S. wards. 2 / C

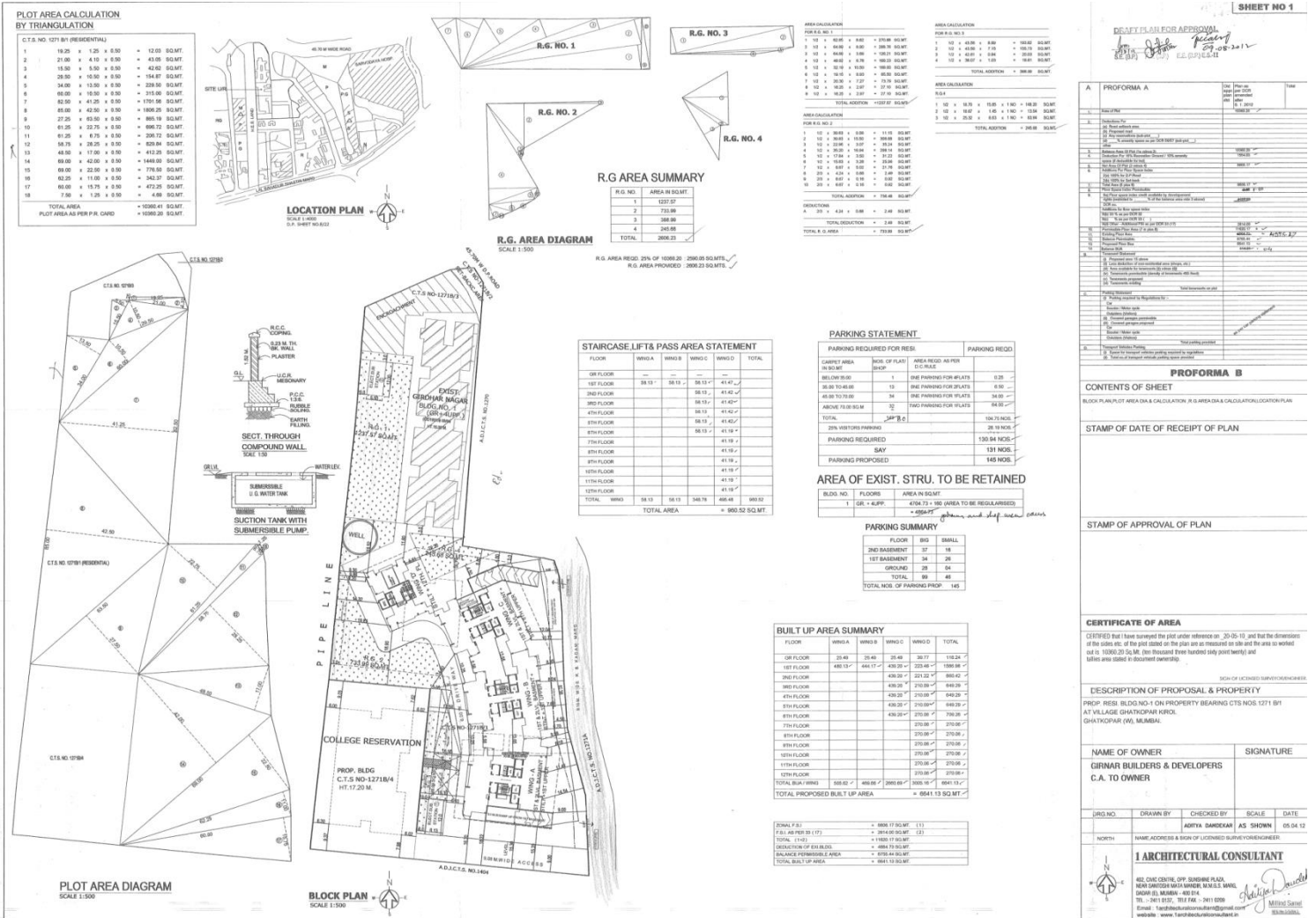
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18 DEC 2010

Pradip Kumar
 E.E.B.P.(E.S.) D/C

NC
 S.E.B.P.N A.E.B.P. (L&N)
 18/11/10

Plan



Annexure 4: Occupation Certificate



MUNICIPAL CORPORATION OF GREATER MUMBAI
APPENDIX XXII
PART OCCUPANCY CERTIFICATE
 [CHE/ES/0694/N/337(NEW) of 22 November 2018]

To,
Girnar Builders and Developers
112-122, Hira Bhavan, Raja Ram Mohan Roy, Prarthana Samaj, Mumbai 400004.

Dear Applicant/Owners,

The **Part 1** development work of **Residential** building comprising of **Wing 'A' having two level basements + Stilt + 1st to 12th upper floor** on plot bearing C.S.No./CTS No. **1271B/1** of village **GHATKOPAR KIROL** at **MTNL Office** is completed under the supervision of Shri. **Milind Arvind Samel**, **Licensed Surveyor**, Lic. No. **S/526/LS**, Shri. **Achuyt N Watve**, **RCC Consultant**, Lic. No. **STR/W/10** and Shri. **Suresh Appa Patil**, **Site supervisor**, Lic.No. **P/383/SS-I** and as per development completion certificate submitted by architect and as per completion certificate issued by Chief Fire Officer u/no. **CHE/ES/0694/N/337(NEW)** dated **29 October 2018**.

It can be occupied with the following condition/s.

1. That the balance IOD conditions shall be complied with before asking further OCC.
 2. That the dry and wet garbage shall be separated and the wet garbage generated in the building shall be treated separately on the same plot by the residents/ occupants of the building in the jurisdiction of M.C.G.M.
- [Old file nos. CE/6284/BPES/AN, autodcr file nos. CHE/ES/0694/N/337(NEW)]

Copy To :

1. Asstt. Commissioner, N Ward
 2. A.A. & C., N Ward
 3. EE (V), Eastern Suburb
 4. M.I., N Ward
 5. A.E.W.W., N Ward
 6. Architect, Milind Arvind Samel, 604, Civic Centre, Opp. Sunshine Plaza, Near Satntoshi Mata Mandir, M.M.G.S. Marg, Dadar (E),
- For information please

Name : AVINASH GORAKSH
 TAMBEWAGH
 Designation : Executive
 Engineer
 Organization : Personal \\
 Date : 22-Nov-2018 17: 52:04

Yours faithfully
 Executive Engineer (Building Proposals)
 Municipal Corporation of Greater Mumbai
 N Ward



MUNICIPAL CORPORATION OF GREATER MUMBAI
APPENDIX XXII
PART OCCUPANCY CERTIFICATE
 [CHE/ES/0694/N/337(NEW)/OCC/5/New of 08 May 2019]

To,
Girnar Builders and Developers
112-122, Hira Bhavan, Raja Ram Mohan Roy, Prarthana Samaj, Mumbai 400004.

Dear Applicant/Owners,

The Part 2 development work of Residential building comprising of Wing 'D' having 1st & 2nd level basements + Still floor + 1st to 12th upper floor on plot bearing C.S.No./CTS No. 1271B/1 of village GHATKOPAR KIROOL at HTNL Office is completed under the supervision of Shri. Milind Arvind Samel , Licensed Surveyor , Lic. No. S/526/LS , Shri. Achyut N Watve , RCC Consultant, Lic. No. STR/W/10 and Shri. Suresh Appa Patil , Site supervisor, Lic.No. P/383/SS-I and as per development completion certificate submitted by architect and as per completion certificate issued by Chief Fire Officer u/no. CHE/ES/0694/N/337(NEW) dated 28 March 2019.

It can be occupied with the following condition/s.

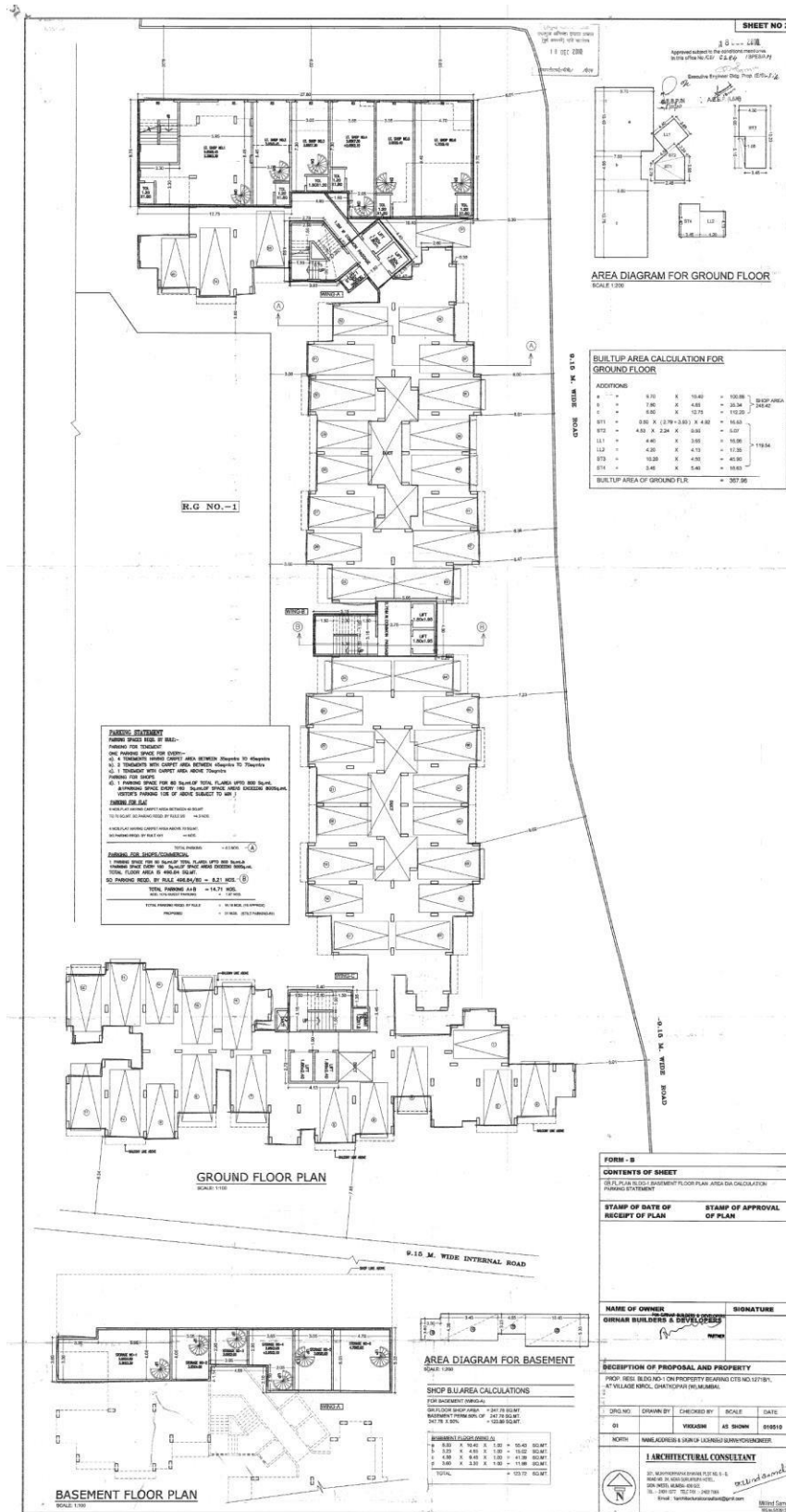
1. That the balance IOD conditions shall be complied with before asking full OCC.
2. That the dry and wet garbage shall be separated and the wet garbage generated in the building shall be treated separately on the same plot by the residents/ occupants of the building in the jurisdiction of M.C.G.M.

Copy To :

1. Asstt. Commissioner, N Ward
 2. A.A. & C. , N Ward
 3. EE (V), Eastern Suburb
 4. M.I. , N Ward
 5. A.E.W.W. , N Ward
 6. Architect, Milind Arvind Samel , 604, Civic Centre, Opp. Sunshine Plaza, Near Satnoshi Mata Mandir, M.M.G.S. Marg, Dadar (E).
- For information please

Name : LOTAN SUKADEO
 AHIRE
 Designation : Executive
 Engineer
 Organization : Personal
 Date : 08-May-2019 18: 37:27

Yours faithfully
 Executive Engineer (Building Proposals)
 Municipal Corporation of Greater Mumbai
 N Ward



Annexure 5: Civil Aviation NOC

द्रुतगामी डाक / SPEED POST



M/s Girnar Builders & Developers
112-122, Hira Bhavan Raja Ram
Mohan Roy Road, Prathana Samaj,
Mumbai 400004

भारतीय विमानपत्तन प्राधिकरण
AIRPORTS AUTHORITY OF INDIA

Date: 02-03-2016

Valid Upto: 02-03-2021

No Objection Certificate for Height Clearance

1. This NOC is issued by Airports Authority of India (AAI) in pursuance of responsibility conferred by and as per the provisions of Govt. of India (Ministry of Civil Aviation) order GSR751 (E) dated 30th Sep. 2015 for Safe and Regular Aircraft Operations.

2. This office has no objection to the construction of the proposed structure as per the following details:

NOC ID :	SNCR/WEST/B/021216/120971
Applicant Name :	Anuj Mehta
Site Address :	CTS No 1271 B/1 (pt) of village Ghatkopar Kirod at Jivdaya Lane, Ghatkopar (West), Mumbai
Site Coordinates :	72 54 12.88-19 05 25.06, 72 54 13.48-19 05 22.61, 72 54 13.74-19 05 25.48, 72 54 14.36-19 05 22.58,
Site Elevation in mtrs AMSL as submitted by Applicant:	18.47 M
Permissible Top Elevation in mtrs Above Mean Sea Level(AMSL)	55.09 M (Restricted)

3. This NOC is subject to the terms and conditions as given below:

a. The site-elevation and site coordinates provided by the applicant are taken for calculation of the permissible top elevation for the proposed structure. If, however, at any stage it is established that the actual data is different from the one, provided by the applicant, this NOC will become invalid and action under the Aircraft (Demolition of Obstruction caused by Buildings and Trees etc.) Rules, 1994 may be initiated by the concerned Airport Operator

b. The Structure height shall be calculated by subtracting the Site elevation in AMSL from the Permissible Top Elevation in AMSL i.e. Maximum Structure Height = Permissible Top Elevation - Site Elevation.

c. The issue of the 'NOC' is further subject to the provisions of Section 9-A of the Indian Aircraft Act, 1934 and any notifications issued there under from time to time including the Aircraft (Demolition of Obstruction caused by Buildings and Trees etc.) Rules, 1994.

d. No radio/TV Antenna, lighting arresters, staircase, Muntree, Overhead water tank and attachments of fixtures of any kind shall project above the Permissible Top Elevation of 55.09 M (Restricted), as indicated in para 2.

e. The use of oil fired or electric fired furnace is mandatory, within 8 KM of the Aerodrome Reference Point.

Page 1/2

राजीव गांधी भवन

Rajiv Gandhi Bhawan

सदरजंग हवाई अड्डा नई दिल्ली-110003

Sadarjung Airport, New Delhi-110003

दूरभाष : 24632950

Phone: 24632950

Six Monthly Post Monitoring Report (January 2022 –June 2022)

M/s. Girnar Developers

Prepared by QCI-NABET Accredited Consultant Enviro Policy Research India Pvt. Ltd. (EPRIPL)



भारतीय विमानपत्तन प्राधिकरण
AIRPORTS AUTHORITY OF INDIA

f. The certificate is valid for a period of 5 years from the date of its issue. If the construction of structure/Chimney is not commenced within the period, a fresh 'NOC' from the Designated Officer of Airports Authority of India shall be obtained. However, if construction work has commenced, onetime revalidation request, as per the rules, may be considered. The date of completion of the Structure should be intimated to this office.

g. No light or a combination of lights which by reason of its intensity, configuration or colour may cause confusion with the aeronautical ground lights of the Airport shall be installed at the site at any time, during or after the construction of the building. No activity shall be allowed which may affect the safe operations of flights.

h. The applicant will not complain/claim compensation against aircraft noise, vibrations, damages etc. caused by aircraft operations at or in the vicinity of the airport.

i. Day markings & night lighting with secondary power supply shall be provided as per the guidelines specified in chapter 6 and appendix 6 of Civil Aviation Requirement Series 'B' Part I Section 4, available on DGCA India's website: www.dgca.nic.in

j. The applicant is responsible to obtain all other statutory clearances from the concerned authorities including the approval of building plans. This NOC for height clearances is to ensure the safe and regular aircraft operations and shall not be used as document for any other purpose/claim whatsoever, including ownership of land etc.

k. This NOC has been issued w.r.t. the Civil Airports. Applicant needs to seek separate NOC from Defence, if the site lies within their jurisdiction.

l. In case of any discrepancy/interpretation of NOC letter, English version shall be valid.

m. In case of any dispute w.r.t. site elevation and/or AGL height, top elevation in AMSL shall prevail.

Chairman NOC Committee

Region Name: WEST

Address: General Manager Airports
Authority of India, Regional
Headquarter, Western Region,
Opp. Parsiwada, Sahar Road,
Vile Parle (E)

Email ID: nocwrmbai@gmail.com

Contact No: 022-26819573

हस्ताक्षर
27/05/2022

27/5/22

जे.एस.पी. चिखल / J.S.P. CHIKHON
सहायक (विमानपत्तन परिचय क्षेत्र)
General Manager (Aero), WR

Page 2/2

राजीव गांधी भवन
Rajiv Gandhi Bhawan

सफरजंग हवाई अड्डा नई दिल्ली-110003
Safdarjung Airport, New Delhi-110003


दूरभाष : 24632950
Phone: 24632950

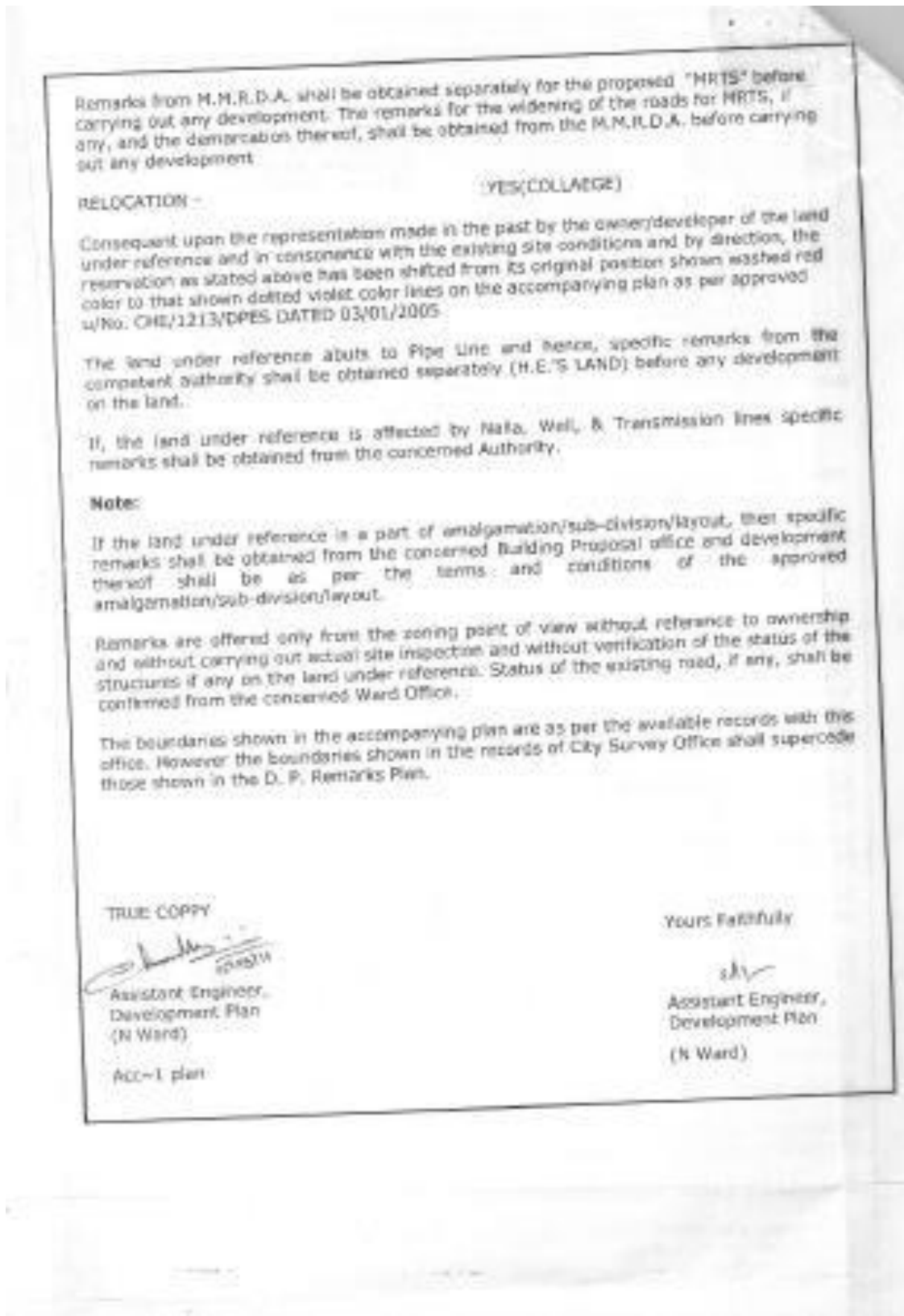
Six Monthly Post Monitoring Report (January 2022 –June 2022)

M/s. Girnar Developers

Prepared by QCI-NABET Accredited Consultant Enviro Policy Research India Pvt. Ltd. (EPRIPL)

Annexure 6: DP Remarks

 MUNICIPAL CORPORATION OF GREATER MUMBAI	
Office of the Chief Engineer (Development Plan) Municipal Head Office 4th Floor, Extn. Building Mahapalika Marg, Fort Mumbai - 400 001	
To A1 LIAISONING CONSULTANT B-204, Shreeji Paradise Apt., Jai Bhavani Mata Road, Amboli, Andheri(W), Mumbai 4000 58.	No: CHE/303/DPES/N Date: 05/09/2011
Sub: Sanctioned Revised Development Plan Remarks for the land bearing C.T.S.NO. 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1271/1, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293 and 1294 of GHATKOPAR KIROLO Village.	
Ref: Your Application u/no.29923 and payment of certifying charges made under Receipt no.1000885675 dated 26/07/2011	
Sir/Madam, Sanctioned Revised Development Plan Remarks for the land shown bounded blue on the accompanying plan are as under:-	
Description of the Land Sanctioned Revised Development Plan referred to Ward Reservations affecting the land [as shown on plan] Reservations Abutting the land [as shown on plan] Designations affecting the land [as shown on plan] Designations Abutting the land [as shown on plan] D.P. Roads affecting the land [as shown on plan] Zone [as shown on plan] Existing Roads [as shown on plan]	C.T.S.No. 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1271/1, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293 and 1294 of GHATKOPAR KIROLO Village N COLLEGE and GARDEN PIPE LINE (H.E.'S LAND), MUNICIPAL HOUSING NIL NIL D.P. ROAD 45.70 MTS. RESIDENTIAL ZONE (R) Present
Widening of the existing road to be confirmed from the office of the Executive Engineer (Traffic & Co-ordination)/Assistant Engineer (Survey)	
Remarks from other Departments/Offices:	
Existing Roads to be widened as per Development Plan, if any, affecting the land [as shown on plan]	: 13.40 MTS.
Demarcation: The Alignment of the proposed road & the boundaries of the reservations are subject to the actual demarcation on site by this office staff along with the representative of A.E.Survey.	



Remarks from M.N.R.D.A. shall be obtained separately for the proposed "MRTS" before carrying out any development. The remarks for the widening of the roads for MRTS, if any, and the demarcation thereof, shall be obtained from the M.N.R.D.A. before carrying out any development.

RELOCATION -

YES(COLLAEGE)

Consequent upon the representation made in the past by the owner/developer of the land under reference and in consonance with the existing site conditions and by direction, the reservation as stated above has been shifted from its original position shown washed red color to that shown dotted violet color lines on the accompanying plan as per approved w/No. CHG/1213/DPES DATED 03/01/2005.

The land under reference abuts to Pipe Line and hence, specific remarks from the competent authority shall be obtained separately (H.E.'S LAND) before any development on the land.

If, the land under reference is affected by Nala, Well, & Transmission lines specific remarks shall be obtained from the concerned Authority.

Note:

If the land under reference is a part of amalgamation/sub-division/layout, then specific remarks shall be obtained from the concerned Building Proposal office and development thereof shall be as per the terms and conditions of the approved amalgamation/sub-division/layout.

Remarks are offered only from the zoning point of view without reference to ownership and without carrying out actual site inspection and without verification of the status of the structures if any on the land under reference. Status of the existing road, if any, shall be confirmed from the concerned Ward Office.

The boundaries shown in the accompanying plan are as per the available records with this office. However the boundaries shown in the records of City Survey Office shall supercede those shown in the D. P. Remarks Plan.

TRUE COPY

[Signature]
20/05/14

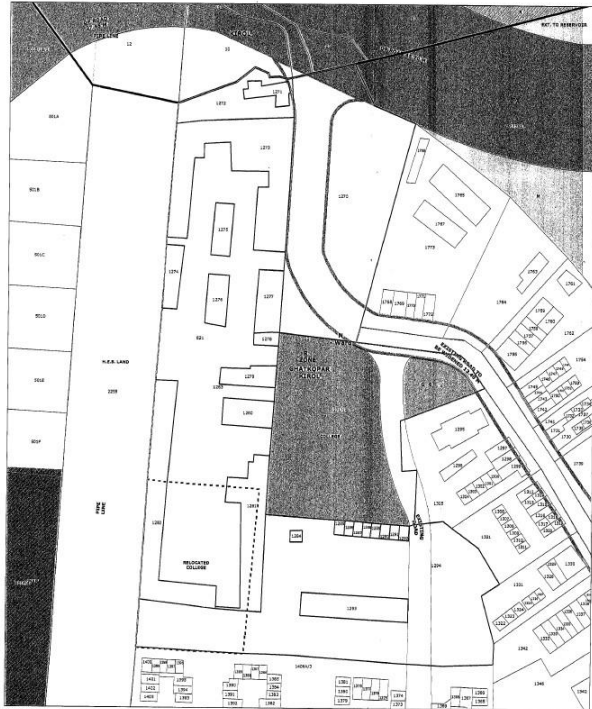
Assistant Engineer,
Development Plan
(N Ward)

Acc-I plan


Yours Faithfully

[Signature]

Assistant Engineer,
Development Plan
(N Ward)



BLOCK PLAN
Scale 1:500
Land Bearing C.T.S.No(s) 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1277/1, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293 and 1294 of GHATKOPAR KIROI, village in N Ward




LOCATION PLAN
Scale 1:4000

NOTE:
D.P. Remarks have been offered only from the zoning point of view without any reference to the existing and status of the structures on the land under reference etc. This plan is to be read with letter under No.CHE/303/DPES/N Dated:

TRUE COPPY

Assistant Engineer (DP) N Ward Assistant Engineer (DP) N Ward




MUNICIPAL CORPORATION OF GREATER MUMBAI (Development Plan Department)

Office of the Chief Engineer (Development Plan),
40, Pooni Avenue Building,
Municipal Head Office,
Municipal Corporation, Mumbai - 400 001.

Annexure 7: Consent to Establish

MAHARASHTRA POLLUTION CONTROL BOARD

Phone : 4010437/4020781
/4037124/4035273
Fax : 24044532/4024068 /4023516
Email : enquiry@mpcb.gov.in
Visit At : <http://mpcb.gov.in>



Kalpataru Point, 3rd & 4th floor, Sion- Matunga
Scheme Road No. 8, Opp. Cine Planet Cinema,
Near Sion Circle, Sion (E),
Mumbai - 400 022

Infrastructure /Orange/LSI
Consent order No: Format1.0/BO/RO-HQ/EIC-Mu-5565-14/CE/CC-1955. Date- 03/03/2014

To,
M/s.Girnar Developers.
at CTS No.1271-B/1,
Village: Ghatkopar,
Kirool, Ghatkopar(W),Mumbai.

Subject: Consent to Establish for Building/Construction project ORANGE category.
Ref : Minutes of Consent Committee meeting held on 24th February,2014.

Your application CE1401000210
Dated: 8.01.2014

For: Consent to Establish for Building/Construction project

under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 5 of the Hazardous Wastes (M, H & T M) Rules 2008 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

- The consent is granted for a period up to commissioning of the project of 5 years whichever is earlier.
- The proposed capital investment of the project is Rs. 91.25 Crs. (As per undertaking submitted by project proponent)

The Consent to Establish is valid for construction of residential project named as **M/s. Girnar Developers., CTS No.1271-B/1, Village: Ghatkopar, Kirool, Ghatkopar (W),Mumbai for total plot area of 10,360.2 sq. mtrs and total construction built up area 47,397 Sq. mtrs including utilities and services as per construction commencement certificate issued by local body.**

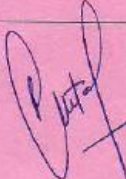

3. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr. no.	Description	Permitted quantity of discharge (CMD)	Standards to be achieved	Disposal
1.	Trade effluent	NIL	NA	NA
2.	Domestic effluent	159	As per Schedule -I	60% shall be reused & recycled and remaining shall be discharged in municipal sewer.

4. Conditions under Air (P & CP) Act, 1981 for air emissions:

Sr. no.	Description of stack / source	Number of Stack	Standards to be achieved
1.	DC set (500 KVA)	1	As per Schedule -II

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Six Monthly Post Monitoring Report (January 2022 –June 2022)

M/s. Girnar Developers

Prepared by QCI-NABET Accredited Consultant Enviro Policy Research India Pvt. Ltd. (EPRIL)

5. Conditions under Municipal Solid Waste (Management and Handling) Rule, 2000:

Sr. no.	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradable	422 Kg/Day	Organic Waste Converter	Used as Manure
2	Non-Biodegradable	192 Kg/Day	Segregate and Hand over to authorized party for recycling	--
3	STP Sludge	24 Kg/ Day	Nil	Used as Manure

6. Conditions under Hazardous Waste (MH & TM) Rules, 2008 for treatment and disposal of hazardous waste:

Sr. No.	Type Of Waste	Category	Quantity	UOM	Treatment	Disposal
Nil						

7. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
8. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
9. The Applicant are hereby directed to submit resolution from company's Board within one month period stating that you have starting construction activity without obtaining consent to establish from the MPC Board thus violated the provision of Environmental Laws and in future, you will not do such violations. If applicant fails to submit the above such resolution within one month period, applicant shall submit separate Bank guarantee of Rs. 2 lakh against compliance of the same.
10. Applicant has submitted an affidavit in Board's prescribed format along with letter dated 13/2/2014 regarding the compliance of conditions of Environmental Clearance /CRZ clearance and Consent to establish.
11. The applicant shall comply with the conditions stipulated in Environmental Clearance granted by GoM vide No. SEAC 2010/CR-375/TC-2 dtd. 18th January, 2012.

For and on behalf of the
Maharashtra Pollution Control Board



(Rajeev Kumar Mittal, IAS)
Member Secretary

Received Consent fee of -

Sr. No.	Amount(Rs.)	DD. No.	Date	Drawn On
1.	Rs.1,25,000/-	252527	9.10.2013	Bank of Baroda
2.	Rs.100/-	52543	17.10.2013	Bank of Baroda

Copy to:

1. Regional Officer -Mumbai and Sub-Regional Officer-Mumbai-III MPCB,
--He is directed to obtain necessary Bank Guarantee from the applicant and ensure compliance of consent conditions
2. Chief Accounts Officer, MPCB, Mumbai.
3. CC/CAC desk- for record & website updation purpose

Schedule-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A) As per your application, you have proposed to install Sewage Treatment Plant (STP) with the design capacity of 180 CMD.
- B) The Applicant shall operate the effluent treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
01	BOD (3 days 27oC)	100
02	Suspended Solids	100
03	COD	250
04	Residual Chlorine	1ppm

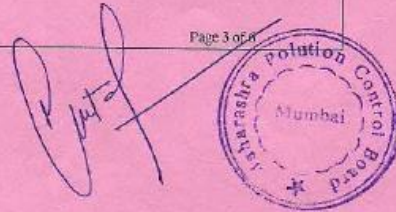
- C) The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, firefighting, on land for gardening etc and remaining shall be discharged in to the municipal sewerage system.
- D) Project proponent shall operate STP for five years from the date of obtaining occupation certificate.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) In case, the water consumption of the project is not covered under the water consumption of local body, in that situation, the project proponent shall submit the CESS Returns in the prescribed format given under the provision of Water (Prevention & Control of Pollution) Cess Act, 1977 and Rules made there under for various category of water consumption.

In case the water consumption is duly assessed under the quantity of water consumption of local body, the project proponent shall submit certificate to that effect from the concern local body with the request not to assess CESS on their water consumption, being already assessed on the water consumption of local body.

Sr. no.	Purpose for water consumed	Water consumption quantity (CMD)
2.	Domestic purpose	197

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Schedule-II

Terms & conditions for compliance of Air Pollution Control:

- As per your application, you have proposed to install the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Sr. No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM	S %	SO ₂ Kg/Day
01.	DG set (500 KVA)	Acoustic Enclosure	5.0*	Diesel	82 Ltr/hr	---	---

* Above roof of the building in which it is installed.

- The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards:

Particulate matter	Not to exceed	150 mg/Nm ³ .
--------------------	---------------	--------------------------

- The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement well before its life come to an end or erection of new pollution control equipment.
- The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- Conditions during construction phase

a	During construction phase, applicant shall provide temporary sewage disposal and MSW facility for staff and worker quarters.
b	During construction phase, the ambient air and noise quality should be closely monitored to achieve Ambient Air Quality Standards and Noise by the project proponent through MoEF approved laboratory.
c	Noise generating activity shall be carried out during day time only.

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**Schedule-III
Details of Bank Guarantees**

Sr. No.	Consent (C to E/O/R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Establish	Rs. 5 lakh	15 Days	Towards compliance of the EC condition and as well as consent conditions	Upto Commissioning of the unit	Five years
2		Rs. 2 lakh	1 Month	Submission of Board Resolution from company Board, towards starting of construction work without obtaining consent to establish from the MPC Board, thus violated the provisions of Environmental Laws and in future, they will not do such violations.	1 Month	Upto submission of Board Resolution.

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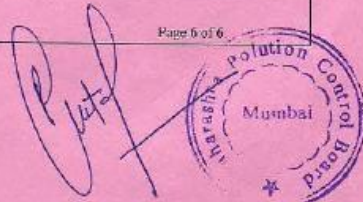
Schedule-IV**General Conditions:**

The following general conditions shall apply as per the type of the industry.

- 1) The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and environmental protection Act 1986 and Municipal Solid Waste (Management & Handling) Rule 2000 and E-Waste (Management & Handling) Rule 2011.
- 3) Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5) Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) The industry shall take adequate measures for control of noise levels from its own sources within the premises in respect of noise to less than 55 dB(A) during day time and 45 dB(A) during the night time. Day time is reckoned between 6 a.m. to 10 p.m and night time is reckoned between 10 p.m to 6 a.m.
 - d) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - e) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - f) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - g) D.G. Set shall be operated only in case of power failure.
 - h) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - i) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
- 6) Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Municipal Solid Waste (Management & Handling) Rule 2000 & E-Waste (M & H) Rule 2011.
- 7) Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8) The industry shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9) The treated sewage shall be disinfected using suitable disinfection method.
- 10) The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11) The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

SRO Mumbai III/10/L/9690/0000

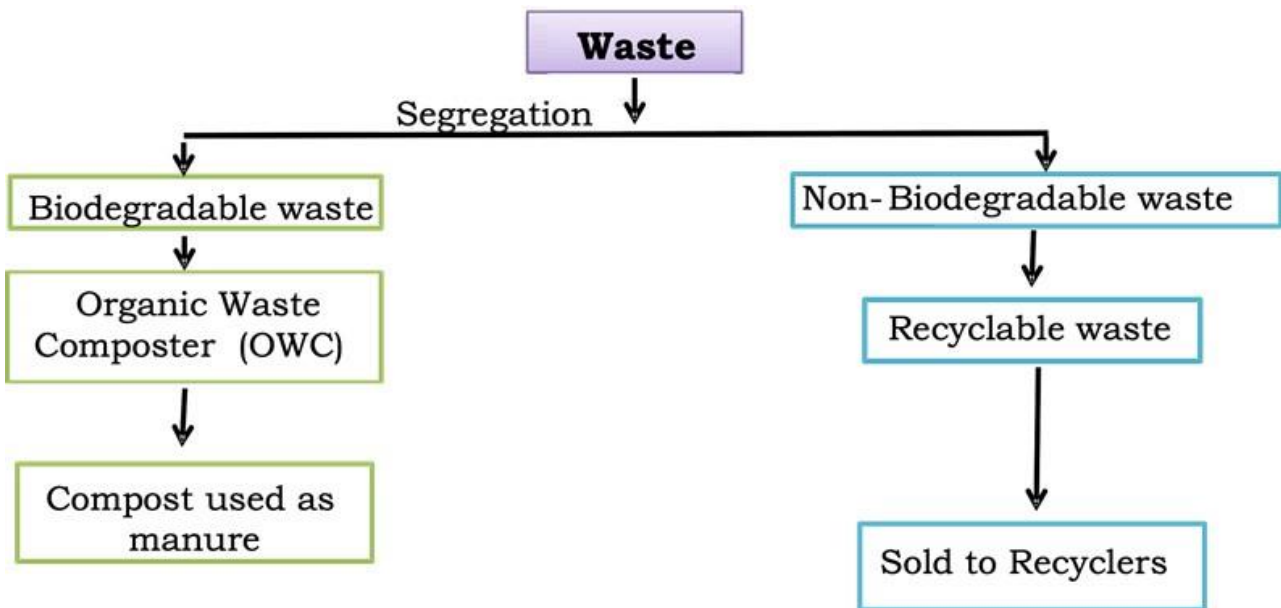
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Annexure 8: Sanitary and hygienic measures provided to workers



Annexure 9: SWM Details



SWM Location



Waste generation from proposed Project

Waste	Total Waste Generation (Kg/Day)
Total Bio-degradable Waste	422 kg/day
Total Non- biodegradable Waste	192 kg/day
STP Sludge	24 kg/day
Total Solid Waste	614 Kg/Day

Annexure 10: Debris management NOC



MUNICIPAL CORPORATION OF GREATER MUMBAI
(Solid Waste Management Department)

Office of Executive Engineer,
SWM SWM Zonal Office 6,

Application Number - CHE/ES/0694/N/337(NEW)/SWM/5/Revalidation, dated - 03 Feb 2021
Issued remarks Number /006697/2021/N/ES Dated 03 Feb 2021.

To (Architect / L.S), Milind Arvind Samel 604, Civic Centre, Opp. Sunshine Plaza, Near Satntoshi Mata Mandir, M.M.G.S. Marg, Dadar (E),	CC (Owner), GIRNAR BUILDERS AND DEVELOPERS 8, Borivali Shopping Centre, Chandavarkar lane, Borivali (west), Mumbai 400092	Previous Application Number: CHE/ES/0694/N/337 (NEW)/SWM/4/Amend
---	--	--

Subject :- Approval to Construction & Demolition Waste Management Plan for the site at CTS/CS Number 1271B/1 of village GHATKOPAR KIROLO at ward Ward N.

Reference :- Your application / online submission for C&D Waste Management Plan levelling & filling at designated site dtd. 03 Feb 2021.

With reference to your application/ online submission, the Debris Management Plan submitted by you has been approved as per "Construction and Demolition Waste Rules 2016" and you are allowed to transport Construction & Demolition/ Excavation Material from construction site to the unloading site subject to following terms & conditions.

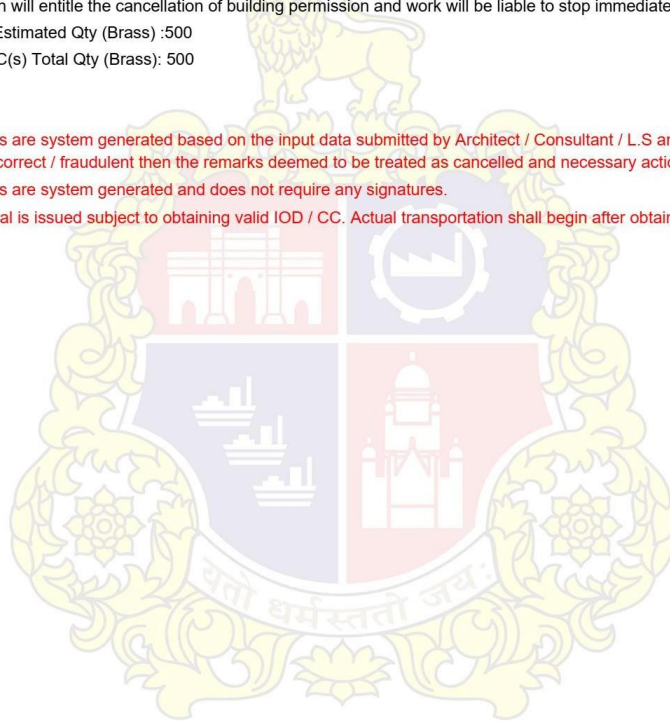
1. This approval is subject to the orders given by Hon. Supreme Court u/no. in SLP (Civil) No. D23708/2017 dated 15.3.2018. You shall follow this order of Hon. Supreme Court and instructions therein.
2. You shall handle & transport **Construction & Demolition Waste / Excavation Material to the extent of 500 Brass only to the designated unloading site Mr. Vitthal Mahadev Deshmukh. Survey no.383/5 at village-Gavan, Taluka-Panvel, Dist. Raigadh under C & D Waste Management Plan.(Anil Mishra -9320352989, Shabbir Kureshi-9322340359) & validity 28 Jan 2022.**
3. You shall transport the C&D waste with proper precautions and employ adequate measures safe guards to dispersal of particles through the air.
4. You have mentioned designated site for transportation of C&D waste for filling and levelling purpose. The C&D waste shall be transported and deposited at the designated site only The Landfill site (unloading site) shall be governed by the Construction and Demolition Waste Management Rules, 2016 and Solid Waste Management Rules, 2016.
5. In the event for any reason whatsoever, the consent given by the Designated Site / Agency is revoked or the time limit for the designated site has expired or the capacity of unloading site is exhausted. In such case the builder / developer shall forthwith stop the transportation activities. The builder / developer shall submit revised Construction and Demolition waste management plan along with required valid documents for revalidation of existing C&D waste Management Plan.
6. The construction & Demolition Waste shall be transported through your Transport Contractor. The details of the same shall be uploaded in the system by the applicant at the time of actual transportation.
7. The deployed vehicles shall abide by all the R.T.O. rules and regulations. You shall ensure that the vehicles should be properly covered with tarpaulin or any other suitable material firmly to avoid any escape / fall of waste on road from moving vehicle. The body and wheels shall be cleaned and washed thoroughly to avoid spreading of waste on road.
8. The copy of approved Construction and Demolition Management Plan Shall be accompanied with each and every vehicle under this approval. The developer shall issue the proper Challan for each and every trip of vehicles and that shall be acknowledged by the agency of unloading site. The developer shall maintain record of C&D material transported and shall make it available to MCGM and / or

Monitoring Committee whenever required for inspection.

9. The approval is granted presuming that the papers submitted by the applicants / Owners are genuine. For any dispute arising out of documents submitted by applicant, POA / Occupant / Owner shall be held responsible as prescribed under the law prevailing in force.
10. The approval granted hereto does not absolve the other approval required from the other department of M.C.G.M. OR Govt. authorities.
11. In case of disputes, court matters etc. related to the subject site / land / property, this approval cannot be treated as a valid proof.
12. In case of any breach of condition is brought to the notice of MCGM or Monitoring Committee, Show Cause Notice will be issued and decision will be taken within one month as expeditiously as possible, which shall be binding on you / land owner.
13. This approval is not a permission for excavation or permission for dumping but this is the only approval under Construction & Demolition Waste Management Plan for the transportation of Construction & Demolition Waste for unloading at designated unloading site.
14. You / Land owner shall submit valid Bank Guarantee from the bankers approved by the MCGM and the amount applicable as per attached table. The bank guarantee remains valid till grant of Occupation Certificate (OCC).
15. The license architect / license engineer shall upload compliance report in respect of Construction & Demolition Waste Management Plan, any breach will entitle the cancellation of building permission and work will be liable to stop immediately.
16. (A) Project Total Estimated Qty (Brass) :500
(B) Obtained NOC(s) Total Qty (Brass): 500

Note:

1. The above remarks are system generated based on the input data submitted by Architect / Consultant / L.S and if in future it is found that the data is incorrect / fraudulent then the remarks deemed to be treated as cancelled and necessary action will be initiated.
2. The above remarks are system generated and does not require any signatures.
3. This C & D approval is issued subject to obtaining valid IOD / CC. Actual transportation shall begin after obtaining valid IOD / CC only.



Annexure 11: Details of Green Belt Development Plan

Total Green cover Area		3245.40 sq. mt.	
Existing trees		74 nos.	
Trees to be cut		42 nos.	
Trees to be transplanted		21 nos.	
Trees to be retained		11 nos.	
New trees to be planted		119 Nos.	
Type of new trees to be planted			
BOTANICAL NAME	COMMON NAME	TREE STATUS & NUMBER	TOTAL
<i>Amygdalus communis</i>	Badam	Transplanted : 01	01
<i>Ficus benjamina</i>	Ficus	Transplanted : 01	01
<i>Mangifera indica</i>	Mango	Transplanted : 01	01
<i>Delonix regia</i>	Gulmohar	Transplanted : 07	07
<i>Syzygium cumini</i>	Jamun	Transplanted : 01	01
<i>Ficus religiosa</i>	Pimpal	Transplanted : 01	01
<i>Azadirachta indica</i>	Neem	Transplanted : 01	01
<i>Albizia saman</i>	Rain tree	New : 32	32
<i>Saraca asoca</i>	Ashoka	Retained : 06 Transplanted : 06 New : 26	38
<i>Roystonea regia</i>	Royale Palm Tree	New : 35	35
<i>Morinda citrifolia</i>	Morinda	Retained : 01 New : 13	14
<i>Peltophorum pterocarpum</i>	Copper pod tree	Retained : 02 Transplanted : 02 New : 13	17
<i>Acacia falcata</i>	Falcala	Retained : 01	01
<i>Artocarpus integra</i>	Fanas	Retained : 01	01

Landscape Plan



Annexure 12: Tree NOC

MUNICIPAL CORPORATION OF GREATER MUMBAI
TREE AUTHORITY
(PVT)

(Case No.154/12-13)
Office of the Supdt .of Gardens
Veermata Jijabai Bhosale Udyan,
Dr.Ambedkar Road Byculla(East),
Mumbai-400 027.
No. DYSG/TA/MC/ 48

Date:- 16/4/13

To,
M/s. Girnar Builders & Developers
8, Borivali Shopping Center,
Chandavarkar Road,
Borivali (West),
Mumbai-400092.

17 APR 2013

Sub : Permission for removal/removal by transplanting of trees coming in the work of proposed construction of Building with Basement & Driveway on plot bearing C.T.S. No.1271B/1 to 4 of village Ghatkopar-Kirol at Jeevdaya Lane, Ghatkopar(West).

Ref : Your Proposal Dated 30th August, 2012.

Sir/Madam,

With reference to above it is to inform that your request for removal of trees coming in the work of proposed development has been considered by the Tree Authority under section 8(3) of The Maharashtra (Urban Areas) Protection & Preservation of Trees Act 1975, (As modified upto 3rd November 2006). The permission for **cutting of 10(Ten) trees** (bearing Sr. No.37, 43,48, 49, 52, 53, 56, 57, 62 & 72) and **transplanting of 29(Twenty Nine) trees** (bearing Sr. No.33, 34, 38 to 40, 47, 50, 51, 54, 55, 68, 69, 74 to 88, 91 & 92) has been granted by the Tree Authority vide its **Resolution No.232 dt. 28-03-2013**.

The remaining **39(Thirty Nine)** trees (bearing tree Sr. No.1 to 32, 41, 42, 44, 45, 70, 71 & 89) should be retained where they are.

You are directed to plant **20(Twenty)** trees in the said property in lieu of the trees allowed to cut within 30 days in accordance with the provision under section 8(5) of the said Act and intimate to the Tree Officer about the action taken thereto.

As per the provision under section 8(3)(a) of the said Act, you are hereby directed that no tree shall be cut/transplanted until fifteen (15) days after the permission is given by the Tree Authority.

Further in accordance with the provision under section 11(1) of the said Act, you are hereby directed to plant **requisite** number of trees as per the norms of the Tree Authority i.e. in open spaces 2(Two) trees per 100 sq. mtr. and in R.G. Area 5(Five) trees per 100 sq. mtr. and care should be taken so that tree grows properly and give a report to the Tree Officer about the condition of these trees once in six months for a period of 3 years.

As per provision under section 19(b), you are directed to obtain the N.O.C. of the Tree Officer for planting of trees in open spaces as well as in R.G. Area as per the norms of Tree Authority before getting occupation / completion certificate of the newly constructed building.

Six Monthly Post Monitoring Report (January 2022 –June 2022)

M/s. Girnar Developers

Prepared by QCI-NABET Accredited Consultant Enviro Policy Research India Pvt. Ltd. (EPRIPL)

...2...

Your attention is kindly drawn to the provisions under section of 21 of The Maharashtra (Urban Areas) Protection & Preservation of Trees Act 1975, as modified on 3rd November 2006.

- 21(1) Whoever fells any tree or causes any tree to be felled in contraventions of the provisions of the Act or without reasonable excuse fails to comply with any order issued or condition imposed by the Tree Officer or the Tree Authority or voluntarily obstructs any member of the Tree Authority or the Tree Officer or any Officers and Servants subordinate to him in the discharge of their functions under this Act, shall, on conviction, be punished with the fine of not less than one thousand rupees which may extend upto five thousand rupees for every offence and also with imprisonment for a term of not less than one week, which may extend upto one year.
- (2) The felling or causing of felling of each tree without the permission of the Tree Authority shall constitute a separate offence.

As per direction of the Tree Authority, you are hereby directed to submit the photographs taken while transplanting of trees and the C.D. of the transplantation of the trees, so as to ensure proper transplantation of the trees.

As per the Tree Authority's Resolution No.500 dated 18-3-2011, you are also requested to plant indigenous variety of trees having circumference of 6" above and height of 15' above. The list of indigenous variety of trees is enclosed herewith for your ready reference and compliance.

You are requested to contact Jr. Tree Officer ('N') Ward to monitor the technical aspects for transplantation and plantation of trees whose contact No.9763230130.

Thanking you.

Yours faithfully,


Supdt. of Gardens
& Tree Officer.

CERTIFIED TRUE COPY


ARCHITECTURAL CONSULTANT

Six Monthly Post Monitoring Report (January 2022 –June 2022)

M/s. Girnar Developers

Prepared by QCI-NABET Accredited Consultant Enviro Policy Research India Pvt. Ltd. (EPRIPL)

Annexure 13: Monitoring Report



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Engineers & Consultant Pvt Ltd.

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CIN No. : U74900PN2013PTC149666

Recognised by Ministry of Environment, Forest & Climate Change (MoEF) Govt. of India and ISO 9001 : 2008, ISO 14001: 2004 and OHSAS 18001 : 2007 Certified company.

GESEC

TEST CERTIFICATE					
Report No: GESEC/2022/05/50		Date of Sampling		18/05/2022	
Client Name and Address: Lotus Logistics & Developers Pvt. Ltd.				Sample Details	
Plot bearing C. T. S. No. 3 of village Valani situated on Shankar Lane ExtnMalad (W), Mumbai		Location			
Sample Collected By		Self			
Surface Water Analysis Report					
Sr. No.	Parameter	Result	Limits	Unit (s)	Standard Methods
1.	Electrical Conductivity	4001	NS	µmho/cm	Indian Standards (IS) – 3025 (Part –14) - 1984 (1st Revision) (Reaffirmed - 1996)
2.	Color	4.2	5	Hazen	APHA 22 nd Edition
3.	pH at 250C	7.0	6.5- 8		IS:3025 Part 11-1983 (Reaff:2002)
4.	Nitrate as NO ₃	25	45	Mg/l	IS – 3025(Part – 34) 1988 Chromo tropic Acid method
5.	Nitrite as NO ₂	ND	NS	Mg/l	IS- 3025 (Part – 34 – 4)
6.	Phosphorous as Phosphate	2.1	NS	Mg/l	Standard M methods – APHA 22nd Ed. 4500 P.D.4- 154.
7.	Potassium	32	NS	Mg/l	Standard M methods – APHA 22ND ED 3500 – K 21st Ed B. 3 -87
8.	Calcium	62	75	Mg/l	Standard M methods – APHA 22nd Ed 3500 Ca – B. 3 – 67
9.	Magnesium	20	30	Mg/l	APHA 22nd Edition 2005 3500-Mg-B
10.	Carbonate	22	NS	Mg/l	IS – 3025 (Part –51) -2001- Calculation Method
11.	Bicarbonate	250	NS	Mg/l	IS – 3025 (Part –51) -2001- Calculation Method
12.	Total Hardness as CaCO ₃	210	300	Mg/l	Standard M methods – APHA 22nd Ed. 2340 C. 2- 44
13.	Total Alkalinity as CaCO ₃	139	200	Mg/l	IS:3025 Part 23-1984 (Reaff:2003)
14.	Chloride as Cl	145	250	Mg/l	IS:3025 Part 32-1988 (Reaff:2003)



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15.	Sulphate as SO ₄	141	200	Mg/l	APHA 22nd Edition 4500-So ₄ ² E
16.	Fluoride	0.8	1	Mg/l	APHA 22ND ED, 4500-F-, D, 4-87 SPADNS Method.
17.	Boron	0.06	0.5	Mg/l	Standard Method: APHA 22ND ED 4500 B., Pg. no: 4-25.
18.	Total Dissolved Solids	150	500	Mg/l	IS:3025 Part 16-1984 (Reaff:2003)

Remark(s): All parameters are within the limit

ANALYZED BY

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TEST CERTIFICATE					
Report No: GESEC/2022/05/51			Date of Sampling		18/05/2022
Client Name and Address: Lotus Logistics & Developers Pvt. Ltd.			Sample Details		Water Sample
Plot bearing C. T. S. No. 3 of village Valani situated on Shankar Lane ExtnMalad (W), Mumbai			Location		Project Site
Sample Collected By			Self		
Surface Water Analysis Report					
Sr. No.	Parameter	Result	Limits	Unit (s)	Standard Methods
1.	Electrical Conductivity	4172	NS	µmho/cm	Indian Standards (IS) – 3025 (Part –14) - 1984 (1st Revision) (Reaffirmed - 1996)
2.	Color	4.1	5	Hazen	APHA 22 nd Edition
3.	pH at 250C	7	6.5- 8		IS:3025 Part 11-1983 (Reaff:2002)
4.	Nitrate as NO ₃	26	45	Mg/l	IS – 3025(Part – 34) 1988 Chromo tropic Acid method
5.	Nitrite as NO ₂	ND	NS	Mg/l	IS- 3025 (Part – 34 – 4)
6.	Phosphorous as Phosphate	2.1	NS	Mg/l	Standard M methods – APHA 22nd Ed. 4500 P.D.4- 154.
7.	Potassium	20	NS	Mg/l	Standard M methods – APHA 22ND ED 3500 – K 21st Ed B. 3 -87
8.	Calcium	64	75	Mg/l	Standard M methods – APHA 22nd Ed 3500 Ca – B. 3 – 67
9.	Magnesium	21	30	Mg/l	APHA 22nd Edition 2005 3500-Mg-B
10.	Carbonate	22	NS	Mg/l	IS – 3025 (Part –51) -2001- Calculation Method
11.	Bicarbonate	252	NS	Mg/l	IS – 3025 (Part –51) -2001- Calculation Method
12.	Total Hardness as CaCO ₃	210	300	Mg/l	Standard M methods – APHA 22nd Ed. 2340 C. 2- 44
13.	Total Alkalinity as CaCO ₃	149	200	Mg/l	IS:3025 Part 23-1984 (Reaff:2003)
14.	Chloride as Cl	112	250	Mg/l	IS:3025 Part 32-1988 (Reaff:2003)



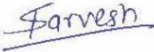


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15.	Sulphate as SO ₄	140	200	Mg/l	APHA 22nd Edition 4500-So ₄ ² E
16.	Fluoride	0.2	1	Mg/l	APHA 22ND ED, 4500-F-, D, 4-87 SPADNS Method.
17.	Boron	0.6	0.5	Mg/l	Standard Method: APHA 22ND ED 4500 B., Pg. no: 4-25.
18.	Total Dissolved Solids	80	500	Mg/l	IS:3025 Part 16-1984 (Reaff:2003)

Remark(s): All parameters are within the limit

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TEST CERTIFICATE					
Report No: GESEC/2022/05/52		Date of Sampling		18/05/2022	
Client Name and Address:				Sample Details	
Lotus Logistics & Developers Pvt. Ltd.		Location			
Plot bearing C. T. S. No. 3 of village Valani situated on Shankar Lane ExtnMalad (W), Mumbai		Sample Collected By			
		Self			
Ground Water Analysis Report					
Sr. No.	Parameter	Result	Limits	Unit (s)	Standard Methods
1.	Electrical Conductivity	4120	NS	µmho/cm	Indian Standards (IS) – 3025 (Part –14) - 1984 (1st Revision) (Reaffirmed - 1996)
2.	Color	4	5	Hazen	APHA 22 nd Edition
3.	pH at 25° C	7	6.5 – 8.5		IS:3025 Part 11-1983 (Reaff:2002)
4.	Nitrate as NO ₃	15	45	Mg/l	IS – 3025(Part – 34) 1988 Chromo tropic Acid method
5.	Nitrite as NO ₂	ND	NS	Mg/l	IS- 3025 (Part – 34 – 4)
6.	Phosphorous as Phosphate	1.2	NS	Mg/l	Standard M methods – APHA 22nd Ed. 4500 P.D.4- 154.
7.	Potassium	20	NS	Mg/l	Standard M methods – APHA 22ND ED 3500 – K 21st Ed B. 3 -87
8.	Calcium	55	75	Mg/l	Standard M methods – APHA 22nd Ed 3500 Ca – B. 3 – 67
9.	Magnesium	27	30	Mg/l	APHA 22nd Edition 2005 3500-Mg-B
10.	Carbonate	20	NS	Mg/l	IS – 3025 (Part –51) -2001- Calculation Method
11.	Bicarbonate	235	NS	Mg/l	IS – 3025 (Part –51) -2001- Calculation Method



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12.	Total Hardness as CaCO ₃	177	300	Mg/l	Standard M methods – APHA 22nd Ed. 2340 C. 2- 44
13.	Total Alkalinity as CaCO ₃	180	200	Mg/l	IS:3025 Part 23-1984 (Reaff:2003)
14.	Chloride as Cl	191	250	Mg/l	IS:3025 Part 32-1988 (Reaff:2003)
15.	Sulphate as SO ₄	106	200	Mg/l	APHA 22nd Edition 4500-So ₄ ² E
16.	Fluoride	0.4	1	Mg/l	APHA 22ND ED, 4500-F-, D, 4-87 SPADNS Method.
17.	Boron	0.2	0.5	Mg/l	Standard Method: APHA 22ND ED 4500 B., Pg. no: 4-25.
18.	Total Dissolved Solids	478	500	Mg/l	IS:3025 Part 16-1984 (Reaff:2003)

Remark(s): All parameters are within the limit

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TEST CERTIFICATE						
Report No: GESEC/2022/05/53		Date of Sampling		18//05/2022		
Client Name and Address:						
Lotus Logistics & Developers Pvt. Ltd.		Sample Details		Noise		
Plot bearing C. T. S. No. 3 of village Valani situated on Shankar Lane ExtnMalad (W), Mumbai						
Sample Collected By						
Self						
Noise Monitoring						
Sr. No.	Location	Result				Unit (s)
		Day Time	Limits	Night Time	Limits	
1.	Near Construction Activity	58	55	35	45	dB
2.	Near Entry Gate	62	55	41	45	dB
Remark(s): During day time readings are above the limits						
ANALYZED BY			AUTHORIZED SIGNATORY			
						
						



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TEST CERTIFICATE				
Report No: GESEC/2022/05/54		Date of Sampling	18/05/2022	
Client Name and Address: Lotus Logistics & Developers Pvt. Ltd.			Sample Details	Soil
Plot bearing C. T. S. No. 3 of village Valani situated on Shankar Lane ExtnMalad (W), Mumbai		Location		
Sample Collected By		Self		
Soil Analysis Report				
Sr. No.	Parameter	Result	Unit (s)	Standard Methods
1.	pH of 10% Solution	6.1	-	IS 2720 Part 26: 1987 (Reaff.2011)
2.	Texture	Sandy		
3.	Color	Reddish/Brown		
4.	EC	280	µS/cm	IS 14767: 2000
5.	Bulk Density	86	Gm/cm ³	IS: 2720 (Part 29) 1975
6.	Organic Content	0.5	%	IS 2720 Part 22: 1972 (Reaff.2010)
7.	Water Retaining Capacity	10	%	IS 2720 Part 29
8.	Calcium as Ca	14	mg/100gm	EPA3050 B
9.	Chloride as Cl	129	mg/100 gm	Mercury (II) Thiocyanate Method
10.	Magnesium as Mg	40	mg/100gm	EPA3050 B
11.	Potassium as K	47	mg/kg	EPA3050 B
12.	Sodium as Na	159	mg/kg	EPA3050 B
13.	Sulphate as SO ₄	47	mg/kg	IS 2720 Part 27
14.	Copper as Cu	24	mg/kg	EPA3050 B
15.	Lead as Pb	<2	mg/kg	EPA3050 B
16.	Zinc as Zn	380	mg/kg	EPA3050 B
17.	Total Kjeldahl Nitrogen as N	0.9	%	IS 14684 : 1999 (Reaff.2008)



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18.	Total Phosphate as PO ₄	1	mg/100 gm	IS 10158 –1982 (Reaff.2009)
19.	Iron	400	mg/kg	IS 13922 : 1994
Remark(s) : All parameters are within the limit				
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GESEC

TEST CERTIFICATE					
Report No: GESEC/2022/05/55			Date of Sampling		18/05/2022
Client Name and Address: Lotus Logistics & Developers Pvt. Ltd.			Sample Details		Ambient Air
Plot bearing C. T. S. No. 3 of village Valani situated on Shankar Lane ExtnMalad (W), Mumbai			Location		At Project Site
Sample Collected By			Self		
Ambient Air Quality Monitoring					
Sr. No.	Parameter	Result	Limits	Unit (s)	Standard Methods
1.	Ambient Temperature (Max/Min)	32/31		°C	
2.	Particulate Matter size less than 10-µm (PM ₁₀)	76	100	µg/m ³	Gravimetric
3.	Particulate Matter size less than 2.5-µm (PM _{2.5})	45.2	60	µg/m ³	Gravimetric
4.	Sulphur Oxides (SO _x)	8	80	µg/m ³	Improved West & Gaeke
5.	Nitrogen Oxides (NO _x)	11	80	µg/m ³	Modified Jacob & Hochheister
6.	Carbon Monoxide (CO)	1.4	4	mg/m ³	By Electro Chemical Sensor
Remark(s): All parameters are within the limit					
ANALYZED BY			AUTHORIZED SIGNATORY		
					
					



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TEST CERTIFICATE					
Report No: GESEC/2022/05/56			Date of Sampling		18/05/2022
Client Name and Address:			Sample Details		Ambient Air
Lotus Logistics & Developers Pvt. Ltd.			Location		Near Gate
Plot bearing C. T. S. No. 3 of village Valani situate Shankar Lane ExtnMalad (W), Mumbai			Self		
Mumbai.			Self		
Ambient Air Quality Monitoring					
Sr. No.	Parameter	Result	Limits	Unit (s)	Standard Methods
1.	Ambient Temperature (Max/Min)	32/31		°C	
2.	Particulate Matter size less than 10-µm (PM ₁₀)	75	100	µg/m ³	Gravimetric
3.	Particulate Matter size less than 2.5-µm (PM _{2.5})	45	60	µg/m ³	Gravimetric
4.	Sulphur Oxides (SO _x)	15	80	µg/m ³	Improved West & Gaeke
5.	Nitrogen Oxides (NO _x)	30	80	µg/m ³	Modified Jacob & Hochheister
6.	Carbon Monoxide (CO)	1.2	4	mg/m ³	By Electro Chemical Sensor
Remark(s): All parameters are within the limit					
ANALYZED BY			AUTHORIZED SIGNATORY		
					
					

COMPLIANCE MONITORING REPORT






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GESEC

TEST CERTIFICATE				
Report No: GESEC/2022/05/57		Date of Sampling		18/05/2022
Client Name and Address:		Sample Details		Stack attached to DG set
Lotus Logistics & Developers Pvt. Ltd. Plot bearing C. T. S. No. 3 of village Valani situated on Shankar Lane ExtnMalad (W), Mumbai		Location		At Project Site
		Sample Collected By		Self
Stack Monitoring for DG Set				
Sr. No.	Parameter	Result	Limits	Unit (s)
1.	Ambient Temperature (Max/Min)	32/31		°C
2.	Stack Temperature	162		°C
3.	Particulate Matter (PM)	0.1	0.3	g/kw-hr
4.	Nitrogen Oxides (NOx)	4.6	9.2	g/kw-hr
5.	Hydro carbons (HC)	0.9	1.3	g/kw-hr
6.	Carbon Monoxide (CO)	2.2	3.5	g/kw-hr
Remark(s): All parameters are within the limit				
ANALYZED BY		AUTHORIZED SIGNATORY		
				
				

Annexure 14: PUC Certificates

Form 59
[See rules 115 (2)]

Pollution Under Control Certificate
Authorised By
Government of Maharashtra

Date : 27/11/2021
Time : 15:33:37 PM
Validity upto : 26/05/2022

Certificate No. : MH0402790001188
Registration No. : MH02ER1433
Date of Registration : 25/Aug/2016
Month & Year of Manufacture : July 2016
Vehic Mobile Number : 9898
Emission Norms : BHARAT STAGE III
Fuel : DIESEL
PUC Code : MH040279
GSTIN :
Fees : Rs.110.00(GST as applicable)
ML observation : No

Vehicle Photo with Registration plate
60 mm x 30 mm




Sr. No.	Pollutant (as applicable)	Units (as applicable)	Emission limits	Measured Value (upto 2 decimal places)
1	Carbon Monoxide (CO)	percentage (%)		
	Hydrocarbon, (THC/HC)	ppm		
	CO	percentage (%)		
High idling emissions	RPM	RPM	2500 ± 200	
	Lambda		1 ± 0.03	
Smoke Density	Light absorption coefficient	1/metre	2.45	0.58

This PUC certificate is system generated through the national register of motor vehicles and does not require any signature.


Note: 1. Vehicle owners to link their mobile numbers to registered vehicle by logging to <https://vahan.parivahan.gov.in>

Authorised Signature with stamp of PUC operator
60mm x 20 mm

POLLUTION UNDER CONTROL CERTIFICATE
 Issued By: MUMBAI (EAST)
 Authorised by Motor Vehicles Department, Maharashtra


TEST RESULT : PASS
VALID TILL: 22/Dec/2021
DIESEL DRIVEN VEHICLES
 Certified that the vehicle conforms to the standards prescribed under rule 115(2) of CMV Rules 1989


Certificate SI. No.:	MH00301600004245
Registration No.:	MH04HD6264
Chassis No.:	MAT373174G1B*****
Engine No.:	697TC69BTY1*****
Class of Vehicle:	Goods Carrier
Make:	TATA MOTORS LTD
Model:	SK 1613/36
Vehicle Category:	HEAVY GOODS VEHICLE
Date of Registration:	18/Mar/2016
Emission Norms:	BHARAT STAGE III
Fuel:	DIESEL
Date of Testing:	23/Jun/2021



FUEL	Light Absorption Coefficient (Permissible Limit)	Measured Value
DIESEL	2.45	0.77

Auto Emission Testing Centre Code: MH0030160
 Testing Centre Name: NHTC (PUC) CENTRE
 Centre Address: C/O NATIONAL HIGHWAY TRUCKING CENTRE, TILAK NAGAR, GHATKOPER, MUMBAI, 400089
 Test Conducted By: HUSEIN SULTANALI

Time of Testing: 16:04:53
 Fee Charged: Rs. 110.0 (one hundred ten rupees only)



	IDLE RPM	MAX RPM	K_VALUE	OIL TEMP
TEST 1	800.0	1870.0	0.61	32.0
TEST 2	800.0	1890.0	0.83	32.0
TEST 3	800.0	1500.0	0.87	31.0
AVG	800.0	1753.33334	0.77	31.66667

This is a computer generated certificate and does not require signature

Annexure 15: CFO NOC

MUNICIPAL CORPORATION OF GREATER MUMBAI

MUMBAI FIRE BRIGADE

Sub :Recommendation letter from fire safety point of view to obtain Part Occupation Certificate from Building Proposal Department i.e. Full occupation of Wing 'A' of said high rise Residential building No.1 on plot bearing CTS. No 1271B/1, at Village Kiroli, Ghatkopar (West) Mumbai.

- Ref: i) On line submission of proposal by M/s. 1 Architectural Consultant, Milind Samel, Licensed Surveyor, Dated-17/10/2018
ii) File No. CHE/ES/0694/N/337(NEW)-CFO.
iii) Check list & other Require documents uploaded on 27/10/2018.

E.E.B.P. (E.S.).

In this case please refer to the N.O.C. issued by this office u/r. no. FB/LR/ES/01, dated 13/05/2011 for the proposed construction of Low-rise IT cum Residential building comprising of three wings , namely 'A' 'B' & 'C'. Wing 'A' having basement for storage of I.T. user + Ground floor part on stilt & part as IT user + 1st floor having residential flats & part IT user with total height of 5.95 mtrs. from general ground level up to terrace level & 'B' & 'C' wing having Ground floor on stilt & 1st floor having residential flats with total height of 5.95 mtrs. from general ground level up to terrace level

In this case please refer to the N.O.C. issued by this office u/r. no. FB/HR/ES/405, dated 08/12/2011 for the proposed construction of High-rise Residential building No.1 consisting of four wings i.e. Wing 'A' 'B' 'C' & 'D'. All wings are having common two level basement + stilt on ground floor + 12 upper residential floors with total height of 37.85 mtrs. from general ground level up to terrace level.

In this case please refer to the N.O.C. issued by this office u/r. no. FB/HR/ES/517, dated 15/03/2012 for the proposed construction of High-rise Residential building No.1 consisting of four wings i.e. Wing 'A' 'B' 'C' & 'D'. All wings are having common two level basement + stilt on ground floor + 12 upper residential floors with total height of 37.85 mtrs. from general ground level up to terrace level.

In this case please refer to the N.O.C. issued by this office u/r. no. FB/HR/R-VI/75, dated 08/07/2014 for the proposed construction of High-rise Residential building No.1 consisting of four wings i.e. Wing 'A' 'B' 'C' & 'D'. All wings are having common two level basement for two tier & horizontal car parking + stilt for horizontal car parking + 1st to 12th upper residential floors with total height of 37.85 mtrs. from general ground level up to terrace level.

In this case please refer to the N.O.C. issued by this office u/r. no. CHE/ES/0694/N/337(NEW), dated 01/09/2018 for the proposed construction of High-rise Residential building No.1 consisting of four wings i.e. Wing 'A' 'B' 'C' & 'D'. All wings are having common two level basements for two tier & horizontal car parking + stilt for horizontal car parking + 1st to 12th upper residential floors (12th Part floor for Wing 'C') with total height of 36.14 mtrs. from general ground level up to terrace level.

Now the Licensed Surveyor has applied online as per above reference & intimated about the completion of construction work of Wing 'A' of said high rise Residential building No.1 and reported compliance of Fire Protection & Fire Fighting requirements stipulated vide this office N.O.C.s. issued under above referred

On receipt of the online submission from the Licensed Surveyor, a senior officer of this department visited & inspected the building to verify & ensure the compliance of all fire protection & firefighting requirements with respect to Wing 'A' of said high rise Residential building No.1 stipulated by this department vide above referred N.O.C.s when it was observed that party has complied with the fire protection & firefighting requirements stipulated by this department vide above referred N.O.C. Wet Riser cum down comer System with Fire Pump, Booster pump, Sprinkler Pump & Jockey Pump, Courtyard Hydrants, Fire Alarm System and Smoke Detectors etc. were tested and found in good working condition. Portable Fire Extinguishers were found provided & were in good working condition.

As per above referred NOCs party has provided the overhead water storage tanks, however hydraulic engineer requested to verify the capacity of the same.

The Active & passive fire protection is carried out by M/s. DIPL Mumbai (Govt. Approved agency) having license no. MFS/LA/RF-0386, MFS/LA/RD-0335 & certificate about fixed fire-fighting installations i.e. 'FORM - A' is submitted, dated-26/10/2018

The party has submitted certificate regarding structural stability from Achyut Watve ,Structural Engineer M/s JW Consultants LPP, , bearing Reg. No. STR/W/10, u/r no. TCN /14-1175/2018-2019/1276, Dated-27/08/2018, and submitted certificate about FRD , Dated-13/10/2018 from M/s. R.N. Traders , certificate regarding Fire Retardant paint for lobby, staircase, escape route from S.P. Enterprises & Pump performance certificate of Fire pumps from M/s Kirloskar Brothers Ltd. & same is certify by M/s Shanbhag Engineering Co. dated-26/10/2018. The party has submitted the lift certificates. The party has provided alternate source of power supply through D.G. Set but not provided from separate sub-station, for which party has submitted undertaking.

The party has submitted his notarized undertaking on stamp paper of Rs.500/- dated 24.10.2018 from M/s Girnar Builders & Developers that 1) As the handing over possession of the flats to all the occupants in raw condition, hence electric wiring of each flat along with electrical ducts and smoke detection system in the electrical duct etc. will be done at a later stage. Hence electrical duct and other duct will be provided & sealed as per CFO NOC within next 90 days or actual occupation whichever is earlier. 2) Alternate source of power supply through the substation will be provided within next 90 days or actual occupation whichever is earlier. 3) The integrated system as per CFO NOC will be provided at the time of full OC to the entire building. 4) Stand by pumps as per CFO NOC shall be provided at the time of full OC to the entire building 5) mechanical ventilation & compartmentation in the basement for the entire building as per CFO NOC we will provide before obtaining full OC to the entire building.6) Stack car parking system & fire fighting requirements for stack car parking system in basement shall be provided before or at the time of obtaining full OC to the entire building.

IF PARTY FAIL TO COMPLETE ABOVE WORKS WITHIN STIPULATED PERIOD THEN THIS RECOMMENDATION LETTER OF MUMBAI FIRE BRIGADE WILL BE TREATED AS CANCELLED WITH IMMEDIATE EFFECT.

In view of above as far as this department is concerned there would be no objection to issue recommendation letter from fire safety point of view to obtain part occupation Certificate from Building Proposal Department i.e. Full occupation of Wing 'A' of said high rise Residential building No.1 having common two level basement + stilt + 1st to 12th upper residential floors with total height of 36.14 mtrs. from general ground level up to terrace level. However it shall be responsibility of occupiers/owner to maintain the fire safety measures in good working order.

This recommendation letter from fire safety point of view to obtain Part Occupation Certificate from Building Proposal Department i.e. Full occupation of Wing 'A' of said high rise Residential building No.1 is issued on the basis of online application / proposal and certified check lists given by M/s. 1 Architectural Consultant , Milind Samel, Licensed Surveyor,& Authorized licensed agency M/s. DIPL Mumbai (Govt. Approved agency) verified by inspecting officer & approved by undersigned & is issued without prejudice to legal matters pending in the Court of Law, if any. But not approved any unauthorized/illegal works within it if any. Owner / Developer / Occupier shall strictly comply and maintain the all fire safety requirements in good working condition at all the time to avoid life and property loss in future, This department shall not be responsible if any complaint/ issues from fire safety point of view raised in future. However it shall be responsibility of occupiers/owner to maintain the stipulated fire safety measures in good working order.

Earlier the Party has paid scrutiny fees of Rs.2,45,000/- vide receipt no 3703293, SAP No. 1000847858 dated 15/04/2011 on the gross built up area of 24,480.00 sq. mtrs. as certified by the Architect.

Earlier the Party has paid scrutiny fees of Rs.3,15,000/- vide receipt no 38,11,704, SAP No. 1001011950 dated 07/12/2011 on the gross built up area of 28,000.00 sq. mtrs. as certified by the Architect.

Earlier the Party has paid scrutiny fees of Rs.1,03,800/- vide receipt no 5485176, SAP No. 1001106376 dated 14/03/2012 on the gross built up area of 5190.00 sq. mtrs. as certified by the Architect.

Earlier the Party has paid scrutiny fees of Rs.3,78,800/- vide receipt no 4789984, SAP No. 1001768813 dated 05/06/2014 on the gross built up area of 33,632.00 sq. mtrs. as certified by the Architect.

Now Architect has certified the gross built up area is as per last approved plan, vide letter dated-27/09/2018. However, E.E.B.P. [E.S.] is requested to verify the total built-up area and inform this department, if the same is found to be more for levying additional scrutiny fees.

E.E.B.P. [E.S.] is also requested to verify all the other requirements stipulated vide this office N.O.C. for Wing 'A' of said high rise Residential building No.1 from ground level up to terrace level, pertaining to civil engineering side as per DCR-1991 , type & flight width of staircase, height, floor occupancy, height of building, open spaces, compound

pavement, terrace, structural stability etc. and requirements stipulated vide this office N.O.C. Electrical ducts, Electrical meter cabin etc. shall be verified & complied by MEP consultant.

However, it shall be responsibility of owners/ occupiers/ society, whatever the case may be, to maintain all the fire protection and firefighting system in working condition at all times.

If any requirements or items if found missing from the next day of inspection, this department or inspecting officer is not responsible for the same accordingly BCC to be issued. In case if any complaint/ issues raised in future regarding installations of firefighting systems, proper implementation of requirements, it should be rectified by occupiers and owner accordingly. All occupiers should be trained to fight fire in incipient stage and evacuation in emergency. And also developer/ society/license fire contractor to maintain the down comer system in good working condition all the times. Electrical audit and its compliance shall be done regularly. No any addition/alteration shall be done in the structure / building without the previous consent of concern competent authorities.

The party shall give the annual maintenance contract of the fire-fighting system to the govt. License agency & certificate shall be submitted every six months (In January & July) to this office regarding good working condition of the fire-fighting system as per Maharashtra Fire Prevention and Life safety Measures Act-2006 to Local fire station in hard copy as well as upload latest scan copy of 'B' form on MCGM portal and also e-mail scan copy on mfb.region6@gmail.com and mfb13st@gmail.com also, managing committee of society, proprietor, owner, occupier should co-ordinate with Mumbai Fire Brigade after every six month with Inspecting/Nominated Officer of this region. **Owner, occupier and security guards have to follow Guide line for Fire Drill & Evacuation Procedure as per Annex D Clause 4.11 of NATIONAL BUILDING CODE OF INDIA -2016.**

After handing over the building to the society then developer shall intimate the name of society person/managing committee persons on above e-mail-id of this department. After obtaining this recommendation letter, Architect should intimate, the status of file (rejected/ approved/pending) with reason to this department till obtaining final occupation certificate from MCGM department. The name of current owner /developer is Shree Anuj Jitendra Mehta of M/s Girnar Builders & Developers.

E.E.B.P.(E.S.) is requested to verify civil work and all other requirements pertaining civil engineering side including open spaces and gross built-up area and inform this department if it is more for the purpose of levying additional scrutiny fee, if required. This recommendation letter is issued as per the inspection report submitted by inspecting officer.

Advisory Note:

This is high rise Residential building, occupiers always have risk of fire & lives (i.e. fire hazard & life hazard). Hence occupiers shall be always alerts and cautious about life and fire safety, shall be trained in the terms. In future members & management committee

members of co-operative housing society shall comply all the life & fire safety norms regularly to avoid fire incident and life loss in their building. This recommendation letter is valid after complete compliance of fire safety requirements and no any deviation is approved by this department. Mumbai Fire Brigade appeals to concerns “No Fire incident subsequently Life and Property loss should occurred in your Premises”

Harishchandra V Girkar
ADFO- H.V. Girkar

Kaitan Francis Disouza
DFO-K.F.Dsouza

Shyam Bhagwat Kharbade
S.B.Kharbade
Dy. Chief Fire Officer (R-VI)

Annexure 16: Structural Stability Certificate

TCN/14-1175/2018-2019/2654

March 8, 2019

To,
The Executive Engineer
Building Proposal
Municipal Corporation of Greater Mumbai
Mumbai

CERTIFICATE OF STABILITY OF STRUCTURE

Proposal	Building 'D' Wing on plot bearing C.T.S. No 1271- B/1 of Village Ghatkopar - Kiroil, situated at Jeevdaya Lane, 'N' Ward, Ghatkopar (W), Mumbai.
Reference No:	
Name & Address of Owner	M/s. Girnar Builders and Developers
Name & address of Licensed Architect	Mr. Milind Arvind Samel of M/s. 1 Architectural Consultant

I hereby certify that the structural work upto 2 Basement plus Stilt floor plus 12 upper floors of building 'D' Wing has been carried out as per my structural design and details and that to the best of my knowledge and belief the said structure is safe and stable for the purpose for which it is intended.

This certificate is issued on the clear understanding that my overall design responsibility for the safety and proper performance of structural design ceases, moment any addition and / or alteration or any damage to the structural frame caused by accident or by tampering with the geometrical sections of structural members for any purpose whatsoever or due to overloading of the structure or lack of maintenance or any act that is detrimental to the structure as a whole.

Achyut Watve
B. E., F. I. E.
Structural Engineer
M C G B Reg. No STR/W/10
For & On behalf of
JW Consultants LLP

- Encl:
1. Design Calculations
 2. License Copy of Structural Consultant
 3. Column Footing (Plan & Schedule)
 4. Typical Slab (Plan & Schedule)

JW CONSULTANTS LLP

REGISTERED OFFICE : Sai Radhe, Office No. 201, 2nd floor, Behind Hotel Sheraton Grand, 100-101, Kennedy Road, Pune 411001.
P : 91-2066449100

MUMBAI OFFICE : Ruparel Iris, 6th floor, Near Bigbazar, Tulsi Pipe Rd., Matunga West, Mumbai - 400016. | P : +91-(0)22-2439 7400 / 2439 7401
www.jwconsultants.in

Converted into a Limited Liability Partnership (LLP Identity No AAA-2650) w.e.f. 28.10.2010 from JW Consultants (previously Y'S Sane Associates) Registration No. MPAS324

Annexure 17: SWD Remarks & RWH Details

MUNICIPAL CORPORATION OF GREATER MUMBAI
 No. DyChE/ 5263 /SWD/ES dt. 06 NOV 2012

E.E.(B.P.)E.S.

Licenced Plumber:- M/S. B.R. Sanitation,
 62/6th, Kamathipura, 1st Floor
 M.R.Road,
 Mumbai-400 008

Sub: Remarks regarding S.W. Drains / Nallas, etc. Proposed Building No.1 on plot bearing C.T.S.No. 1271 B/1 of Village Ghatkopar-Kirol, at Jivdaya Lane ,Ghatkopar(West).




Ref : Licenced Plumber's letter u/no. Nil dated 11.09.2012.

Name of the Architect: M/S. 1 Architectural Consultant.

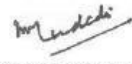
The remarks regarding storm water drain and Natural Water Course passing through the property mentioned above are as under & the remarks are offered without prejudice to the ownership of land and status of the land :-

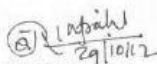
1	Whether any natural water course is passing through the property.	:	No
2	Size of existing natural water course.	:	N.A
3	Size to which the existing natural water course should be widened.	:	N.A
4	Nature of land (whether the R.L. is above 27.43 THD or not)	:	To be maintained as per Item No.5 below
5	Minimum formation level of the plot required.	:	92' THD or 15cm. above the formation level of the raised footpath; or the existing access road whichever is higher.
6	Whether 7.5 m. or 15.0 m space from either side of the nalla is to be left out.	:	As per D.C. Regulation 1991
7	Adequate storm water drains shall be provided in the property including provision for admitting storm water coming from the surrounding locality if required in future.		
8	While constructing the S.W. Drain invert level of the drain shall be kept such as to admit the storm water coming from the adjoining areas.		
9	Additional remarks if any A condition may please be included in the terms & conditions that the party will have either to bear full cost of training and constructing natural water course in the property if the Corporation takes the work in hand or the party shall construct the same as per Municipal Specifications.		
10	The access / internal roads of the layout should be provided with pucca open S.W. Drains on each/one side having an area of Sq.m. (as indicated in the accompanying plan. The remarks are offered considering the C.T.S. boundaries as shown in the plan approved by EEBPES u/no. CE/6284/BPES/AN dated 18.12.2010. The road side drains, if any, should be constructed on final R.L. obtained from Competent Authority.		
11	Side open spaces shall be leveled consolidated and paved with proper slope to drain in such a way to dispose off the storm water into the S.W. Drains as proposed and/into the existing drains along Municipal Roads.		

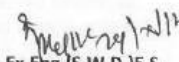
P.T.O...

- 12 The S.W. Drain remarks for the holding under reference shown bounded in black as shown by you and marked as A-B-C-D-E-F-G-H-I-J-K-L-M-N-O-A on accompanying plan are as under -
- a) The storm water drains as per these remarks shall be constructed as per M.C.G.M. specifications and the walls should be of c.c. M-20 of minimum thickness 0.20 m. over a bed concrete of M-15(1:2:4) c.c. 15 cm. thick and M-20 c.c. haunches of 8 cm. thick with cement plaster in cm. (1:2) 12 mm thick for haunches.
 - b) The gradient of the drains shall be given such way to create velocity of 1.22 m. / sec. In case of steep localities where velocity is likely to exceed 2.40m. / Sec. intermediate drop in invert shall be provided.
 - c) All cross drains shall be 1.5 times the size of the drains proposed.
 - d) Before commencing the work of S.W.D. as per remarks, party should intimate this office.
 - e) To construct 0.45 sq.m Covered S.W.D. along 13.40m wide Existing road in setback between K-Q-R as per 12(a) above and same shall be covered with M-20 R.C.C. slab in M-20 grade C.C. as designed by Licensed Structural Engineer along with M-25 grade R.C.C. pre-cast frame of size 1150x 1150 x 150 mm and cover (2Nos) of size 1000 x 500 x 75mm at 4.50m distance & R.C.C. pipes as laterals of 300mm dia. Shall be provided at 4.50m distance to collect storm water from road surface to S.W. Drain shown thus- 
Above drain shall be constructed on Final R.L. of road after taking demarcation from competent authority of M.C.G.M. Both ends of the drain shall be closed temporarily with brick masonry and laterals shall also be plugged to prevent entry of storm water from road surface till the downstream side drain is constructed by M.C.G.M. and starts functioning.
 - f) To construct 0.20 sq.m open S.W.D. between H-G-F-E-D-C and M-a-b-c-d-N-O-P-C as per 12(a) above at starting points and further to be provided with such slope as per 12(b) above towards discharging points and same may be covered with R.C.C./M.S gratings shown thus- 
 - g) To construct R.C.C. slab culvert in M-35 cc along B-C width 1.00m with slab designed for 'AA' Class loading on structurally stable M-25 c.c. walls with heavy duty C.I. frame with cover of size 0.61m x0.91m for cleaning purpose shown thus- 
 - h) To provide proper slope and drainage arrangement in basement floor with sump pit of adequate size and pumping arrangement of adequate capacity as designed by licensed Electrical Engineer along with standby unit, to pump out water accumulated, into road side drain at ground level. Construct catch drain 0.3 m x 0.3 m at entry of ramp & connect the same to side drain.
 - i) To provide Carriage entrance of AA Class loading slab at every gate with opening of size 0.60mx0.90m at center along with heavy duty frame and cover and locking arrangement.
 - j) The invert of the S.W.D on upstream side shall never be lower than the invert on downstream side drain.
 - k) Adequate number of pipes (150 mm Ø) shall be provided in the compound walls and in parapet walls wherever necessary.
 - l) Proper arrangement to dispose of storm water from paved/unpaved open spaces R.G. ramp, approaches & internal road shall be made to avoid flooding during monsoon season.
 - m) The compound wall shall not be constructed on S.W.D wall/halla wall.
 - n) If there is any amendment/changes in plan/layout revised remark will have to be obtained before completion.
 - o) All above S.W.D/Carriage entrance Work shall be constructed as per design of Lic. Structural engineer and stability & completion certificate from lic. structural engineer shall be submitted before asking completion certificate to this office.

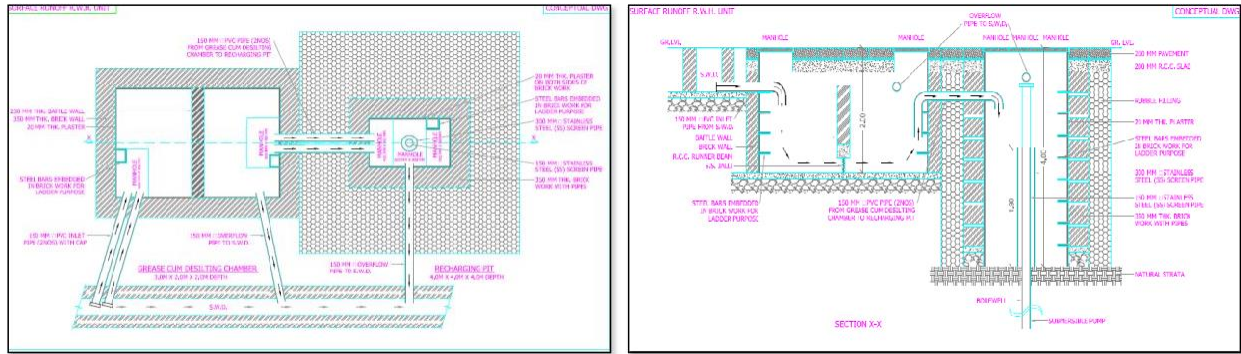
NOTE :-1)The remarks offered above are valid for one year from the date of issue.
2)The remarks are offered without prejudice to the ownership of land and status of the land and structures thereon :
3)If there is any amendment/changes in plan/layout revised remark will have to be obtained before completion.


S.E.(P&D) S.W.D.
'N' Ward


A.E.(S.W.D.)E.S.
Planning


Ex.Eng.(S.W.D.)E.S.
(Z-VI)

RWH Details



Rainwater from Terrace runoff: Collection in 2 tanks of total capacity 136 m³.

Surface runoff: Recharging the ground water sources with help of 4 Nos. of recharge pits



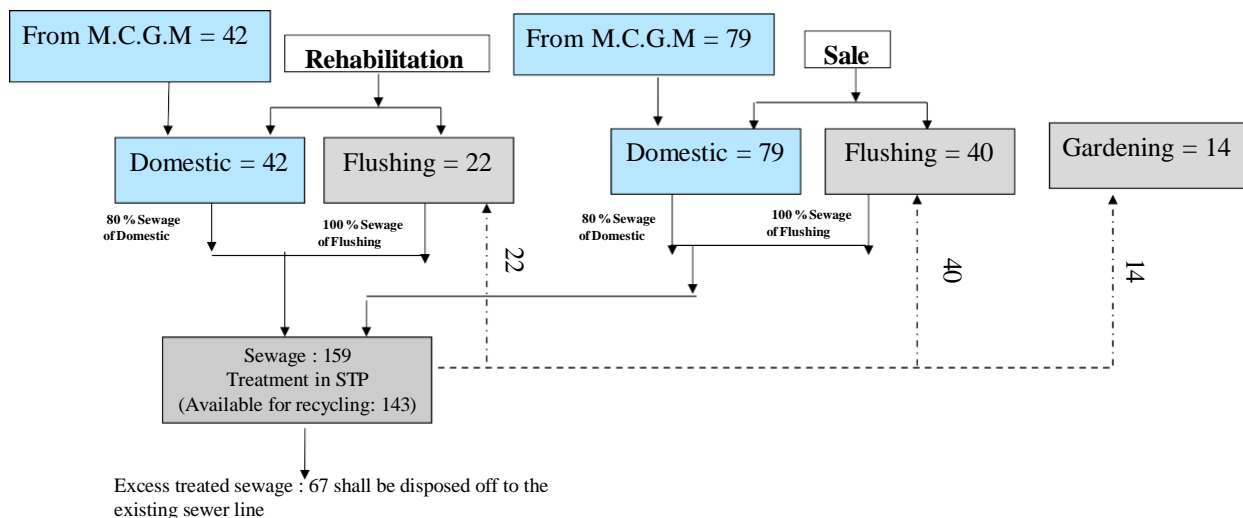
Location of RWH Tank: 2nd Basement

Annexure 18: Water Details

Sewage water generation details

Total Water Demand	197 m ³ /day
Total Domestic Water Demand	121 m ³ /day
Total Sewage Generated	159 m ³ /day
Total Treated water used for flushing and gardening	76 m ³ /day

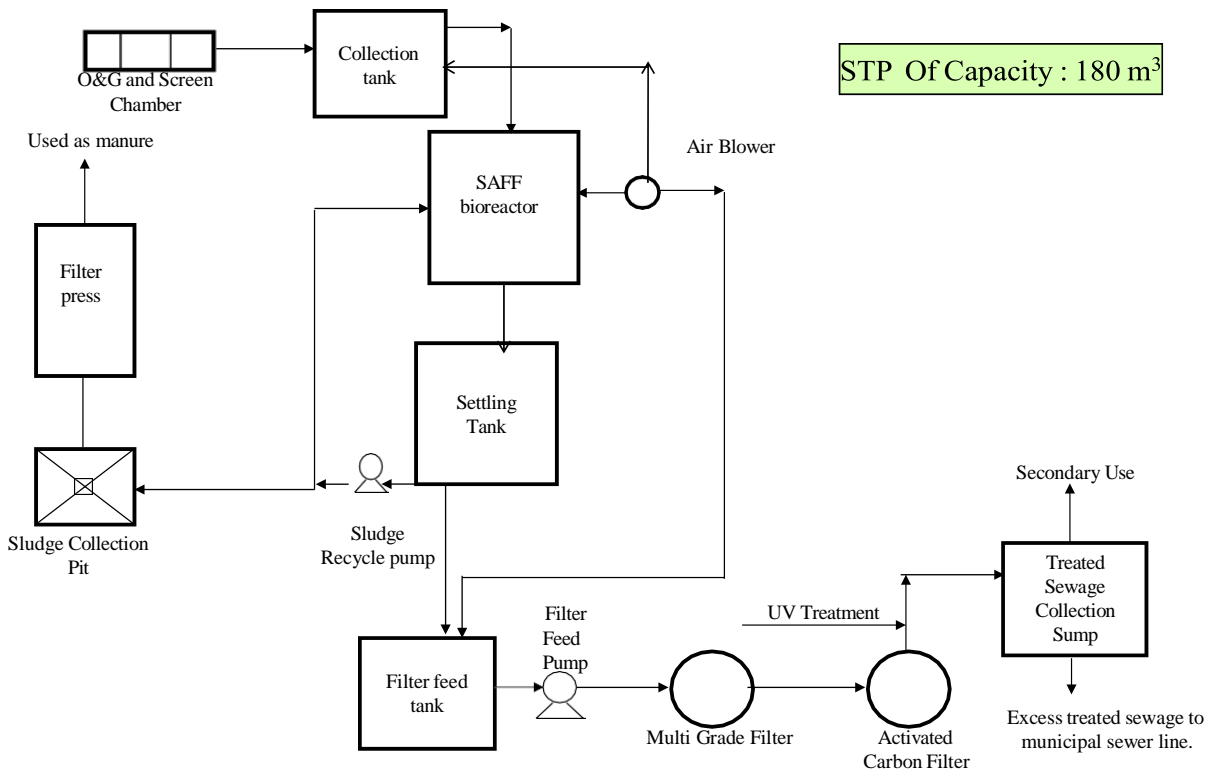
Water Balance Diagram



Location of STP: Second Basement



Process Flow Diagram



Annexure 19: Energy Saving Calculations

Source : Reliance Energy

No.	Description	Power requirement in KW
1.	Construction phase	100
2.	Operational phase	
a.	Connected load	3131.30
b.	Maximum demand	1164.70
c.	D.G sets (Incase of power failure)	1 No. of 500 kVA

ENERGY SAVING MEASURES :

- Day mode / evening modes and night mode for lighting control with use of timers.
- Use of Electronic ballast less than 10% THD & 0.95 P.F. for all Fixtures.
- Use of Energy efficient lamps like T5 / CFL / LED as per design.
- Use of Energy efficient equipments like low loss Transformers & Switchgears
- Use of Solar energy for landscape lighting.

Annexure 20: Parking Plans & Parking Statement

Parking Statement

Area of flats	No. of flats	Criteria for Parking	Parking Requirement
NR	859.62 sq. m.	1/40 sq. m.	22
Above 35 sq. m.	22	0.5/flat	11
Area 45 sq. m. to 70 sq. m.	154	1/flat	154
More than 70 sq. m.	88	2/flat	176
Total			363
Add.25 % for visitors			91
Grand Total for Car parking required			454

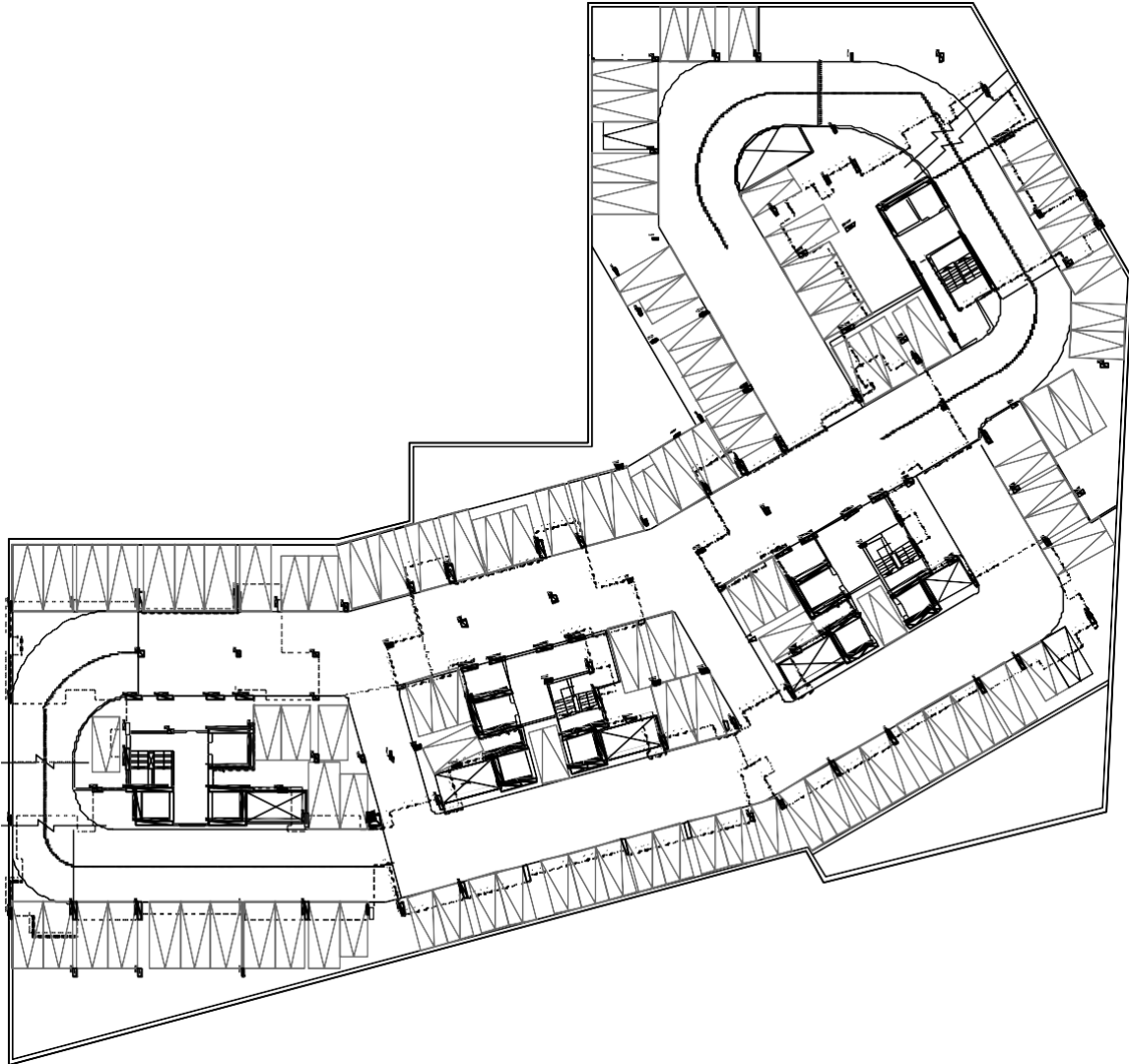
Sr. no.	Component	Parking Numbers			Parking Area (Sq.mt.)	
		Parking required as per DCR MCGM (4W)	Parking Provided	Parking Provided		Parking Provided
			(4W Small)	(4W Big)		
a.	Stilt	454		35		1252.08
b.	Basement 1		75	133	33	6112.25
c.	Basement 2		75	142	33	6112.25
	Total	454	460		66	13476.58

Parking Plans

Ground Floor Plan



1st Basement Plan



2nd Basement Plan



Annexure 21: Layout Plan & Typical floor plan



Annexure 22: Environmental Management Cell

ENVIRONMENT MANAGEMENT CELL

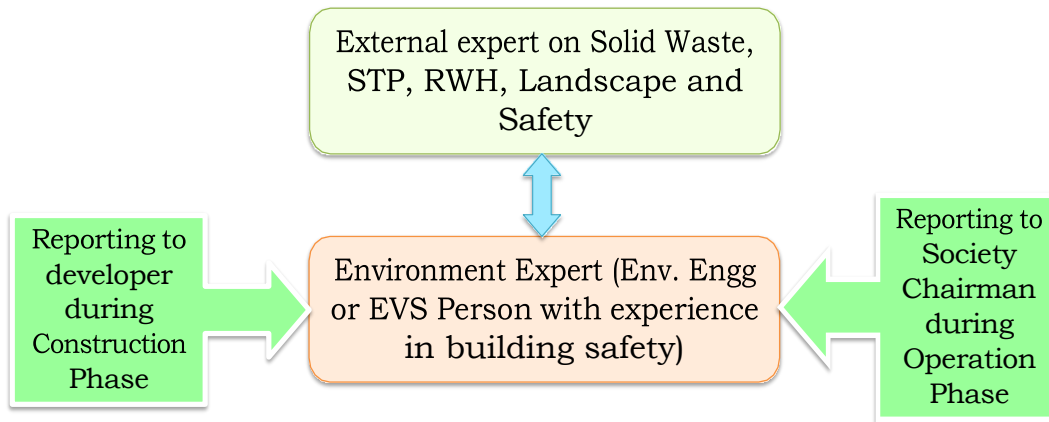
The Environment Cell shall comprise of environment background personnel either environment engineer or environment science background person with knowledge of building safety measures. During construction phase the environment cell shall comply with safety standards and measures as prescribed in the environment clearance norms. The following measures shall be adopted during construction phase:

- Covering all the materials stored at construction site with plastic or tarpaulin sheet
- 3 m height screens would be provided all around the building (or plot boundary) during construction phase to obstruct the flow of dust and wind to surrounding locations
- All workers shall be provided with dust masks
- 1 wash basin per 20 workers shall be maintained
- Bio-toilets would be installed for workers
- Installation of STP, RWH, SWM units and water efficient units as per proposed in the project

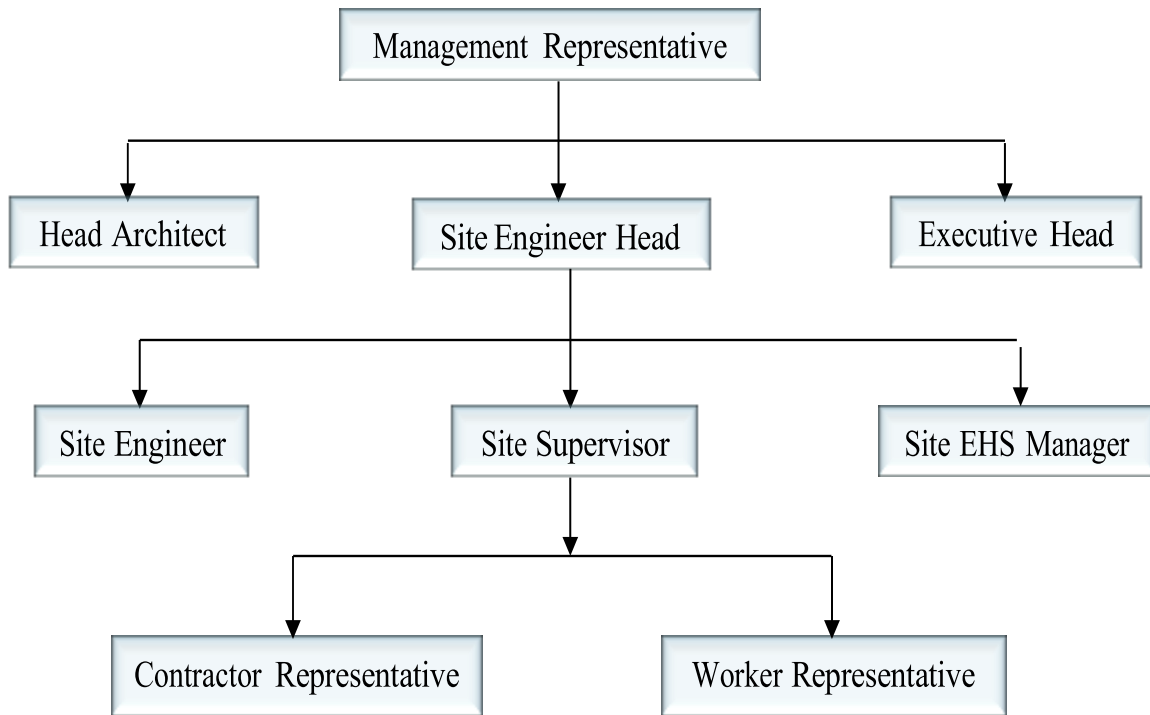
During operation phase; environment cell shall report to chairman of the society and it must comprise of in house and empaneled experts. The role of the environment cell during operation phase will be:

- Maintaining STPs, SWM units, RWH, carrying out environmental audits, safety audits, etc.
- Maintaining landscape and safety of the premises/building
- Maintaining compliance monitoring as per direction of MoEF

The detail formulation of environment cell is given in below **Figure**



Formulation of Environment Cell



The structure of environment management cell

Annexure 23: Newspaper Advertisement

NOTICE

M/s. Girnar Developers
Proposed Residential development project located at Plot bearing CTS No. 1271-B/1 of village Ghatkopar, Kirol, Ghatkopar (W) Mumbai was accorded the Environmental Clearance from the **State Level Environment Impact Assessment Authority (SEIAA)**, Environment Department, Govt. Of Maharashtra on 18 th January, 2012.

The copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at website at <http://ec.maharashtra.gov.in>

सूचना

मे. गिरनार डेव्हलपर्स यांचे सीटीएस क्रमांक १२७१-ब/१ गाव घाटकोपर, किरोळ घाटकोपर (प.), मुंबई येथील प्रस्तावित निवासी प्रकल्प याना स्टेट लेवल एनव्हायमेंट अससेसमेंट ऑथॉरिटी (एसआयएए) पर्यावरण विभाग, महाराष्ट्र शासन यांचेकडून दि. १८ जानेवारी, २०१२ रोजी पर्यावरणीय निपटारा दिला होता.

निपटारा पत्राची प्रत ही महाराष्ट्र प्रदूषण नियंत्रण मंडळ यांच्याकडे आणि <http://ec.maharashtra.gov.in> या वेबसाइटवर पाहता येईल.

ANNEXURE - A

1. PROJECT DETAILS

Sr. No.	Description	Details						
1	Area Details							
	Total Plot Area	10360.2 sq. m						
	FSI area	19128.93 sq. m						
	Non FSI area	28268.97 sq. m						
	Total Construction area	47397 sq. m						
2	Building Configuration	1 Building: 6 Wings of 2 Basements + Part Ground floor +Part Stilt + 12 upper floors						
3	No. of Tenements & Shops	Rehabilitation for Existing occupants: Flats: 88 ; Shops: 27 ; Sale: Flats: 176						
4	Total Population (Nos.)	-						
5	Total Water Requirements (CMD)	197 KLD						
6	Sewage Generation (CMD)	159 KLD						
7	STP Capacity & Technology	Total STP Capacity: 180 KLD, SAFF Technology						
8	STP Location	Ground floor						
9	Total Solid Waste Quantities	Wet Waste: 422 kg/day Dry Waste: 192 kg/day Total Waste Generated: 614 Kg/Day						
10	R.G. Area (sq. m).	3245.40						
14	Power requirement	During Operation Phase: <table border="1"> <thead> <tr> <th colspan="2">Details</th> </tr> </thead> <tbody> <tr> <td>Connected Load (kW)</td> <td>3131.30 KW</td> </tr> <tr> <td>Demand Load (kW)</td> <td>1164.70 KW</td> </tr> </tbody> </table>	Details		Connected Load (kW)	3131.30 KW	Demand Load (kW)	1164.70 KW
Details								
Connected Load (kW)	3131.30 KW							
Demand Load (kW)	1164.70 KW							
15	Energy Efficiency	-						
16	D.G. set capacity	DG Set Capacity: 1 DG set of 500 KVA						
17	Parking 4W & 2W	4W: 460 Nos. 2W:66 Nos.						
18	Rain water harvesting scheme	2 RWH tanks of total capacity 136 m ³ /day 4 no of recharge pits						
19	Project Cost in (Cr.)	90 Cr						
20	EMP Cost	Operation Phase: Capital Cost: 64.41 Lakhs O & M Cost: 21.30 Lakhs Construction Phase: 10.24 lakhs						
21	CER Details (with justification, if any)	-						

ANNEXURE - B

EMP for Construction Phase

<p>EMP FOR AIR ENVIRONMENT</p> <p>▪ Construction Phase (EMP for Air Environment):</p> <p>To mitigate the impacts of PM₁₀ & PM_{2.5} during the construction phase of the project, the following measures are recommended for implementation:</p>
<p>Dust Control Plan:</p> <p>The most cost-effective dust suppressant is water because water is easily available on construction site. Water can be applied using water trucks, handled sprayers and automatic sprinkler systems. Furthermore, incoming loads could be covered to avoid loss of material in transport, especially if material is transported off-site.</p>
<p>Vehicle Emission Controls and Alternatives</p> <ul style="list-style-type: none"> ▪ During construction, vehicles will be properly maintained to reduce emission. As it is a construction project, vehicles will be generally having “PUC” certificate. ▪ Footpaths and Pedestrian ways: Adequate footpaths and pedestrian ways would be provided at the site to encourage non-polluting methods of transportation
<p>Procedural Changes to construction activities</p> <p>Idle time reduction:</p> <p>Construction equipment is commonly left idle while the operators are on break or waiting for the completion of another task. Emission from idle equipment tends to be high, since catalytic converters cool down, thus reducing the efficiency of hydrocarbon and carbon monoxide oxidation. Existing idle control technologies comprises of power saving mode, which automatically off the engine at present time and reduces emissions, without intervention from the operators.</p> <p>Improved Maintenance:</p> <p>Significant emission reductions can be achieved through regular equipment maintenance. Contractors will be asked to provide maintenance records for their fleet as part of the contract bid, and at regular intervals throughout the life of the contract.</p>

Incentive provisions will be established to encourage contractors to comply with regular maintenance requirements.

Reduction of On-Site Construction Time:

Rapid on-site construction would reduce the duration of traffic interference and therefore, will reduce emissions from traffic delay.

▪ **Operation Phase (EMP for Air Environment):**

To mitigate the impacts of pollutants from DG set and vehicular traffic during the operational phase of the Project, following measures are recommended for implementation:

Diesel Generator Set Emission Control Measures

Adequate stack height will be maintained to disperse the air pollutants generated from the operation of DG set to dilute the pollutants concentration within the immediate vicinity. Hence no additional emission control measures have been suggested.

RG Development

Increased vegetation in the form of greenbelt is one of the preferred methods to mitigate air and noise pollution. Plants serve as a sink for pollutants, act as a barrier to break the wind speed as well as allow the dust and other particulates to settle on the leaves. It also helps to reduce the noise level to a large extent. The following **Table** indicates various species of the greenbelt that can be used to act as a barrier.

Trees to be planted in the premises of Project

Total Green cover Area		3245.40 sq. mt.	
Existing trees		74 nos.	
Trees to be cut		42 nos.	
Trees to be transplanted		21 nos.	
Trees to be retained		11 nos.	
New trees to be planted		119 Nos.	
Type of new trees to be planted			
BOTANICAL NAME	COMMON NAME	TREE STATUS & NUMBER	TOTAL
<i>Amygdalus communis</i>	Badam	Transplanted : 01	01
<i>Ficus benjamina</i>	Ficus	Transplanted : 01	01
<i>Mangifera indica</i>	Mango	Transplanted : 01	01
<i>Delonix regia</i>	Gulmohar	Transplanted : 07	07
<i>Syzygium cumini</i>	Jamun	Transplanted : 01	01
<i>Ficus religiosa</i>	Pimpal	Transplanted : 01	01
<i>Azadirachta indica</i>	Neem	Transplanted : 01	01
<i>Albizia saman</i>	Rain tree	New : 32	32
<i>Saraca asoca</i>	Ashoka	Retained : 06 Transplanted : 06 New : 26	38
<i>Roystonea regia</i>	Royale Palm Tree	New : 35	35
<i>Morinda citrifolia</i>	Morinda	Retained : 01 New : 13	14
<i>Peltophorum pterocarpum</i>	Copper pod tree	Retained : 02 Transplanted : 02 New : 13	17
<i>Acacia falcata</i>	Falcala	Retained : 01	01
<i>Artocarpus integra</i>	Fanas	Retained : 01	01

EMP FOR NOISE ENVIRONMENT

Construction Phase (EMP for Noise Management):

To mitigate the impacts of noise from construction equipment during the construction phase on the site, the following measures are recommended for implementation.

Time of Operation:

Noisy construction equipment has not been allowed to use at night time.

Job Rotation and Hearing Protection:

Workers employed in high noise areas are not employed on shift basis. Hearing protection such as earplugs/muffs will be provided to those working very close to the noise generating machinery.

Other Measures:

- Developer must ensure barricading for minimum of 5 m (as the site is adjacent to road)

- During construction, shady trees can be planted on the periphery of the boundary to reduce noise impact
- Also to reduce noise impact, one must ensure smooth movement of traffic vehicles
- Measures of NBC, 2016 must be followed by developer to control noise
- Developer must follow guidelines of BS 5228 and Defra Guideline (NO 0234)
- Plant and vehicles should comply with EU noise emission limit
- Control hours of operation of all plants and vehicles and machineries
- Avoid unnecessary use of plant and machinery
- Use acoustic barriers whenever possible
- Use line flat bed lorries or storage bin with noise attenuating materials
- Handle materials carefully; for example, scaffolding and fittings should be carried and placed; not thrown or dropped
- Ensure that materials are delivered and installed during normal working hours
- Ensure site supervision during installation
- Maintain vehicles regularly to reduce engine, exhaust, and body rattle noise
- Use silencer based plants and machinery to avoid noise impact
- Ensure that hard road surfaces are well maintained to reduce rattling of vehicles
- Use mechanical sweeper with noise attenuators
- Observe less or no waiting time for the vehicles or plants and machinery so that they are not running unnecessarily
- Don't leave equipment running unnecessarily
- Service and maintain as well as clean the equipment of regular basis
- As far as possible, use self-compacting concrete to reduce the need for vibrating equipment
- Use shielding or barriers around pumps, compressors and machinery
- Also install online noise monitoring system to understand the noise level at the site (continuous level), so that immediate decision can be taken to control any activity which is causing noise pollution

▪ **Operation Phase:**

To mitigate the impacts of noise from diesel generator set during operational phase, the following measures are recommended

Noise Emission Control Technologies

Source of noise in the operational phase will be from backup DG sets (which will be in operation only during power failure) and pumps & motors. All the machinery will be of highest standard of reputed make and will comply with standard i.e. The DG set room will be provided with acoustic enclosure to have minimum 75 dB(A) insertion loss or for meeting the ambient noise standard whichever is on higher side.

RG Development

The following species can be used, as in a greenbelt, to serve as noise breakers:

- *Acacia auriculiformis*
- *Anonasquamosa*
- *Acacia farnesiana*
- *Acacia mearnsii*
- *Acacia nilotica*
- *Achras sapota*

EMP FOR WATER ENVIRONMENT

Construction Phase (EMP for Water Management):

To prevent degradation and to maintain the quality of the water source, adequate control measures have been proposed. To check the surface run-off as well as uncontrolled flow of water into any water body check dams with silt basins are proposed. The following management measures are suggested to protect the water source being polluted during the construction phase.

- Avoid excavation during monsoon season
- Care has been taken to avoid soil erosion
- Common toilets have been constructed on site during construction phase and the sewage would be channelized to the septic tanks in order to prevent sewage to enter into the water bodies.
- To prevent surface and ground water contamination by oil and grease, leak-proof containers has been used for storage and transportation of oil and grease. The floors of oil and grease handling area have been kept effectively impervious. Any wash off from the oil and grease handling area or workshop has been drained through imperious drains.

- Collection and settling of storm water, prohibition of equipment wash downs and prevention of soil loss and toxic release from the construction site are necessary measure to betaken to minimize water pollution.
- All stacking and loading area has been provided with proper garland drains, equipped with baffles, to prevent run off from the site, to enter into any water body.

▪ **Operation Phase (EMP for Water Management):**

In the operation phase of the project, water conservation and development measures will be taken, including all possible potential for rain water harvesting. Following measures will be adopted.

Water Source Development

Water source development shall be practiced by installation of scientifically designed Rain Water Harvesting system. Rainwater harvesting promotes self-sufficiency and fosters an appreciation for water as a resource.

Minimizing Water Consumption

Consumption of fresh water will be minimized by combination of water saving devices and other domestic water conservation measures. Further, to ensure on-going water conservation, an awareness program will be introduced for the students and employees. The following section discusses the specific measures, which shall be implemented

Wastewater Treatment Scheme

The sewage will be treated in the STP provided within the complex. STP which will be recycled within the project and remaining will be discharged to Sewer.

Other Measures:

- LFD would be installed
- Rainwater harvesting would be installed
- Recycle and reuse of water would be taking place
- Recycled water would be used for flushing and gardening purpose

EMP FOR LAND ENVIRONMENT

- **Construction Phase:**

Construction Debris:

Construction debris is bulky and heavy and re-utilization and recycling is an important strategy for management of such waste. As concrete and masonry constitute the majority of waste generated, recycling of this waste by conversion to aggregate can offer benefits of reduced landfill space and reduced extraction of raw material for new construction activity. This is particularly applicable to the project site as the construction is to be completed in a phased manner. Mixed debris with high gypsum, plaster, has not been used as fill, as they are highly susceptible to contamination, and will be sent to designated solid waste landfill site. Metal scrap from structural steel, piping, concrete reinforcement and sheet metal work has been removed from the site by construction contractors. A significant portion of wood scrap has been reused on site. Recyclable wastes such as plastics, glass fibre insulation, roofing etc. shall be sold to recyclers.

Hazardous Waste:

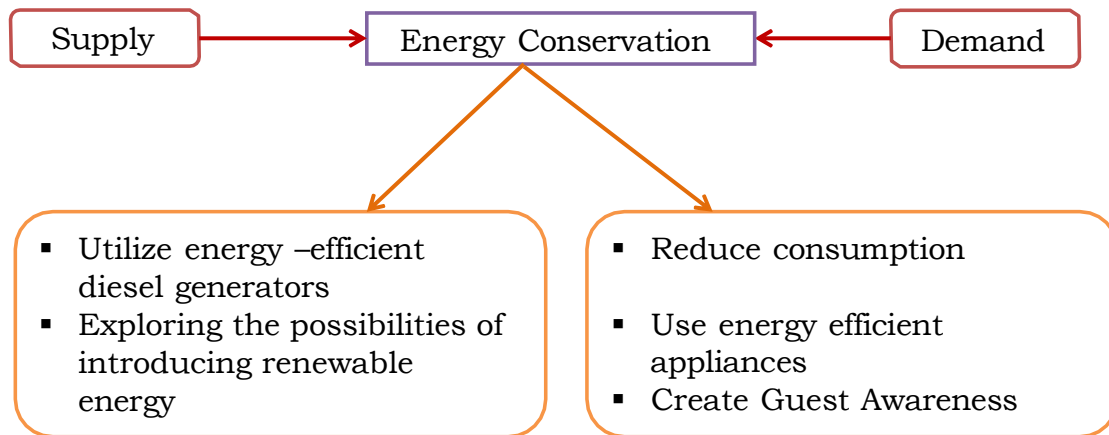
Construction sites are sources of many toxic substances such as paints, solvents wood preservatives, pesticides, adhesives and sealants. Hazardous waste generated during construction phase shall be stored in sealed containers and disposed off as per The Hazardous Wastes (Management, Handling & Transboundary Movement) Rules, 2008.

- **Operation Phase:**

The philosophy of solid waste management at the complex will be to encouraging the four R's of waste i.e. Reduction, Reuse, Recycling and Recovery (materials & energy). Regular public awareness meetings will be conducted to involve the people in the proper segregation and storage techniques. With regards to the disposal/treatment of waste, the management will take the services of the authorized agency for waste management and disposal of the same on the project site during its operational phase.

EMP FOR ENERGY CONSERVATION

Energy conservation program will be implemented through measures taken both on energy demand and supply.



Energy conservation will be one of the main focuses during the complex planning and operation stages. The conservation efforts would consist of the following;

Architectural design

- Maximum utilization of solar light has been done.
- Maximize the use of natural lighting through design.
- The orientation of the buildings has been done in such a way that maximum daylight is available.
- The green areas has been spaced, so that a significant reduction in the temperature can take place

Energy Saving Practices

- Energy efficient lamps have been provided within the complex.
- Constant monitoring of energy consumption and defining targets for energy conservation.
- Adjusting the settings and illumination levels to ensure minimum energy used for desired comfort levels

ENVIRONMENTAL MONITORING

Six Monthly Post Monitoring Report January 2022 –June 2022)

M/s. Girnar Developers

Prepared by QCI-NABET Accredited Consultant Enviro Policy Research India Pvt. Ltd. (EPRIPL)

The purpose of environmental monitoring is to evaluate the effectiveness of implementation of Environmental Management Plan (EMP) by periodic monitoring. The important environmental parameters within the impact area are selected so that any adverse effects are detected and time action can be taken. The project proponent will monitor ambient air Quality, Ground Water Quality and Quantity, and Soil Quality in accordance with an approved monitoring schedule.

The detailed Monitoring Programme is given in **Table**

Monitoring Programme for Project

Sr. No.	Type	Location	Parameters	Period and Frequency
1	Ambient Air Quality	Project Site	Criteria Pollutants: SO ₂ , NO ₂ , PM ₁₀ , PM _{2.5} , CO	Half yearly (24 hr. average samples) during construction phase and annual during operation phase.
2	Groundwater (Portability testing)	Project Site	Drinking water parameters as per Standards	Half yearly
3	Ambient Noise	Project Site	dB (A) levels	Half yearly (Hourly day and night time leq levels) during construction phase and every year during operation phase.
4	Potable Water Quality	Municipal Supply	As per IS potable water standards	Half yearly
5	Soil Quality	Project Site	Organic matter, C.H., N, Alkalinity, Acidity, heavy metals and trace metal, Alkalinity, Acidity	Half yearly
6	Waste Characterization	Educational	Physical and Chemical composition	Daily
7	Treated Water	Outlet of STP	BOD, MPN, coliform count, etc.	Daily

ANNEXURE - C

BUDGETARY ALLOCATION DURING OPERATIONAL PHASE

DURING OPERATIONAL PHASE

Sr. No.	Parameter	Set up cost Rs. In lacs	Operational & Maintainace cost (rs. In lacs/yr)
1	Stp cost	27.75	7.54
2	Rain water harvesting (4 nos. Recharge pits)	1.20	0.06
3	Rain water harvesting (2 tanks of total capacity 136 m ³)	9.52	0.48
4	Environmental monitoring	MOEF approved laboratory for Monitoring	9.50
5	Solar lights	2.50	0.05
6	Gardening	15.44	2.47
7	Solid waste management	8.00	1.20
	Total cost	64.41	21.30

The above budgetary allocations are the approximate values

Till the date approximately **Rs. 5 Lakhs** were spent on maintenance of Environmental Management Plan. The letter is attached for reference.

Six Monthly Post Monitoring Report (January 2022 –June 2022)

M/s. Girnar Developers

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